



BROTHERS' INSPECTION INC

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RESIDENTIAL REPORT

1234 Main Street
Grand Junction, CO 81505

Buyer Name

08/26/2026 9:00AM



Inspector

John Tinker

Inter-nachi Certified Home Inspector

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Agent

Agent Name

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At your request a visual inspection of the above referenced property was conducted. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects. The following is an opinion report, expressed as a result of the inspection. Please take time to   review limitations contained in the inspection agreement. Our standards of operation are attached at the end of this report.

1: INSPECTORS OPINION

Information

Inspectors Opinion

This mid 1950s home was built on a concrete foundation with a basement. Very little evidence of any recent structural movement was visible. Landscaping and gutter adjustments are recommended in several areas to create a better dry zone and ensure moisture is being directed away from the foundation. The roof covering is showing signs of aging and needs repair. The major mechanical systems were functioning as expected, but both the water heater and furnace are above the average life expectancy. Although currently functional, you should be prepared for their replacement. Several plumbing concerns were noted, including a failed expansion tank, and several plumbing leaks. The electrical systems were in satisfactory condition for the age, however outlet updates are recommended and GFCI protection is needed in several areas. Smoke alarm and carbon monoxide protection has been installed within 15 feet of each bedroom, however, it would be ideal if each bedroom had its own smoke alarm. All other noted items can be found in the report below. Please contact me with any questions. Thank you for choosing Brothers Inspection!

2: INSPECTION DETAILS

Information

Site Conditions: In Attendance None	Site Conditions: Occupancy Vacant	Site Conditions: Style Multi-level
Site Conditions: Temperature (approximate) 34 Fahrenheit (F)	Site Conditions: Type of Building Single Family	Site Conditions: Weather Conditions Snow
Utilities: Electric Service Location Overhead.	Utilities: Water Source/Meter City Of Grand Junction	Utilities: Fuel Type Natural gas is provided by a regulated service company or utility.
		
Utilities: Cable Service Overhead.	Utilities: Telephone Service Overhead	Utilities: Cable Television and Telephone Grounding Wire Verified Yes - The cable television and/or the telephone service lines appear to be grounded.

Gas Services: Location

Right side of the house.

**Gas Services: Type of Supply**

Natural Gas.

Gas Services: Gas Fired**Equipment**

Furnace/boiler., Water heater.

Gas Services: Gas Appliances in Garage Area

No-None installed in the garage area.

Gas Services: Gas Line Primary Piping Material

Black Iron Pipe., CSST (corrugated stainless steel tubing).

Gas Services: Vents Noted from Roof View

There is at least one gas-fired vent stack through the roofline.

Notes

2.3.1 Gas Services

TOO CLOSE- COOLER

The exhaust for the furnace and water heater are less than 10 feet away from the rooftop evaporative cooler. It would be best if the exhaust was extended 2 to 3 feet above the top of the evaporative cooler to prevent the cooler from pulling exhaust gases into the home. Consult an appropriate contractor.



Recommended Repairs



3: ROOF

Information

Roof Type/Style Gable	Inspection Method Ladder, Ice present on roof	Coverings: Material Fiberglass
Coverings: Layers 1	Ridges: Satisfactory The ridge covering material appears to be in satisfactory condition.	Valleys: Satisfactory The valleys appear to be in satisfactory condition.

Coverings: Overall Condition

The shingle covering appears to have a 15 to 20 year life expectancy. It may be approaching this age as there are several missing/wind blown shingles, the tack strip is failing, and there is moderate granular loss, particularly on the south facing side and around the evaporative cooler. Minimally, the missing shingles should be replaced. A licensed professional roofer may be able to give a better recommendation for remaining life.



Flashings: Flashing Satisfactory

The flashings around openings in the roof covering appear to be water tight and caulked as needed.

Gutters and Drainage Systems: Gutters Satisfactory

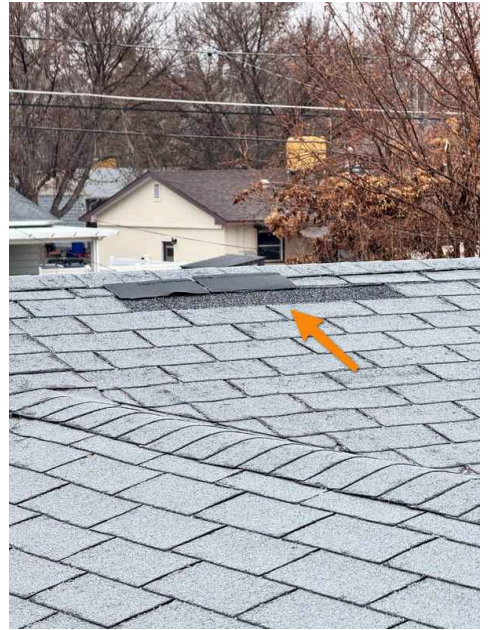
The gutter system on the roof edge appears to be functional and adequately sloped to carry the water to the downspouts.

Notes

3.1.1 Coverings
WIND BLOWN SHINGLES

Recommended Repairs

There are multiple windblown shingles. It is showing signs that repair/replacement is needed. A roofer should be contacted for assessment.



3.1.2 Coverings

GRANULAR LOSS

Some moderate granular loss was present on the edge of many of the shingles. This indicates an older roof that is nearing the end of its usable life.





3.4.1 Flashings

RESEALED

 Recommended Repairs

The roof penetrations will need to be resealed periodically. This includes visible nail heads.

3.4.2 Flashings

PLUMBING VENT

 Recommended Repairs

The boots or sealant around the plumbing vent(s) are in need of updating or replacement.



3.6.1 Gutters and Drainage Systems

DOWNSPOUT EXTENSIONS

 Recommended Repairs

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement and other issues. Installation of downspout extensions would help carry the water further away from the foundation.



3.6.2 Gutters and Drainage Systems



Normal Maintenance

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.



3.6.3 Gutters and Drainage Systems



Recommended Repairs

GUTTER DAMAGED

Gutters were damaged. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor evaluate and repair.



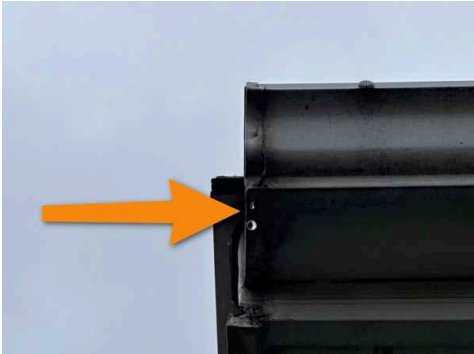
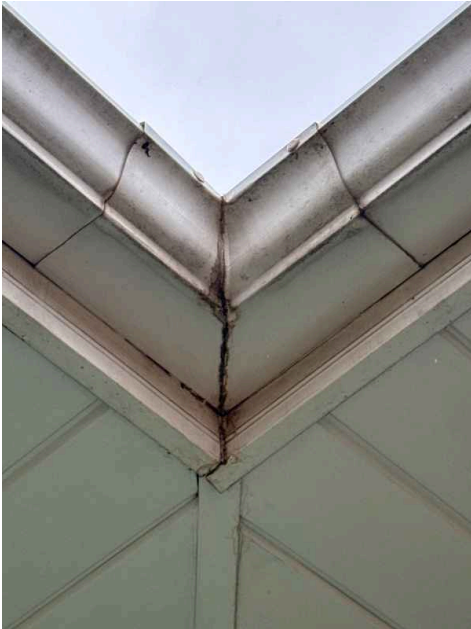
3.6.4 Gutters and Drainage Systems



Recommended Repairs

GUTTER LEAKAGE

Gutters were observed to be leaking in one or more areas. This can result in excessive moisture in the soil at the foundation. It is recommended a qualified contractor evaluate and repair gutters.



3.6.5 Gutters and Drainage Systems

GUTTER LOOSE

The gutter(s) is loose and needs to be re-fastened to fascia.

 Recommended Repairs



4: ATTIC, INSULATION & VENTILATION

Information

Attic Inspection Method Entrance	Attic Type Crawl Through- The attic cavity is not useable for any storage due to size, framing, or insulation.	Roof Decking Material Butted Board
Access Carport Scuttle	Roof Framing : H-Clips Present No H-Clips help prevent sagging at the sheathing joints.	Ventilation: Ventilation Type Gable Vents
Attic Insulation: Inches of Insulation 6-8"	Attic Insulation: Type of Insulation Fiberglass Loose, Cellulose	Attic Insulation: R- Value (If Stated) Not Stated



Roof Framing : Satisfactory

The roof framing appears to be in functional condition overall.



Roof Bracing: Satisfactory

The roof bracing appears to be in functionally carrying the load of the rafters.

Evidence of Leaks : None

There is no evidence of current water leaks into the accessible attic spaces.

Notes

4.1.1 Roof Framing

RAFTER SPREADING

At some point, the top connections of the rafters have pulled apart, leaving gaps and loose nails. While the roof still appears to have adequate support in these areas, it may be beneficial to re-anchor these and install collar ties to prevent any further movement. Consult a licensed contractor.





4.4.1 Ventilation

NO SOFFIT VENTS



There is a lack of vents in the soffit. With a passive system, it is important that air can travel up through the attic space and out the vents higher up on the roof. Soffit Vents should be installed to ensure proper ventilation.

5: EXTERIOR

Information

Siding, Flashing & Trim: Siding Material Metal	Exterior Doors: Exterior Entry Door Hollow Core	Driveways: Driveway Material Concrete
Walkways: Walkway Material Concrete	Fencing: Materials 3 feet, Chain Link	Mailbox: Location Onsite
Mailbox: Satisfactory The mail box and supports are in satisfactory condition.		

Notes

5.1.1 Siding, Flashing & Trim

CORNER TRIM- MISSING

Some of the corner trim is missing and needs to be replaced to prevent water entry.

Recommended Repairs



5.2.1 Eaves, Soffits & Fascia

FASCIA FLASHING- NOT OVERLAPPED CORRECTLY

In one or more locations the fascia flashing is installed improperly. The above flashing should be overlapped on top of the lower flashing to help prevent water entry. In the current orientation, water may be able to enter and cause damage to the materials behind.

Recommended Repairs



5.3.1 Exterior Doors

WEATHERSTRIPPING NOT PRESENT



Recommended Repairs

Exterior Door weatherstripping is old and may no longer be adequate. This can result in energy loss. Recommend installation of standard weatherstripping.

5.3.2 Exterior Doors

NO DEADBOLT



Recommended Repairs

One or more exterior doors do not have a deadbolt. For safety considerations, deadbolts should be added.

5.4.1 Driveways

DRIVEWAY CRACKING



Recommended Repairs

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have driveway contractor patch/seal.



5.4.2 Driveways

DRIVEWAY TRIP HAZARD

Trip hazards observed. Patch or repair recommended.

 Recommended Repairs



5.7.1 Vegetation

BUSHES AND SHRUBS CLEARANCE

The shrubs and/or bushes need to be trimmed or maintained. Bushes and shrubs need to be trimmed away from the structure at least 2 inches. This space is needed to prevent direct access to the structure by insects and to keep the bushes from damaging the siding.

 Normal Maintenance



6: STRUCTURAL

Information

Framing Information: Floor Framing Members Size

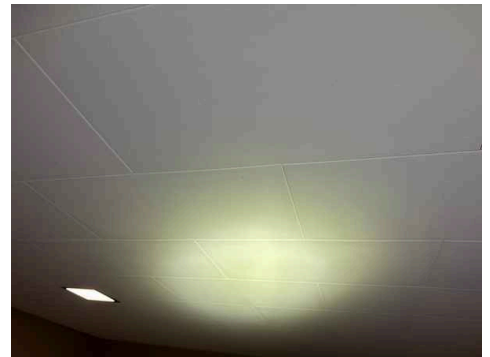
2" x 8" The floor framing is constructed with 2" x 8" members.

Notes

6.2.1 Potential Hazardous Materials

CEILING TILES

The ceiling tiles are of a size and shape that may contain asbestos. The only way to know for certain is to test the material. An abatement company can be contacted for testing if desired. Generally, sealing asbestos materials with paint and not disturbing them can prevent health concerns



6.2.2 Potential Hazardous Materials

LEAD BASED PAINT POTENTIAL

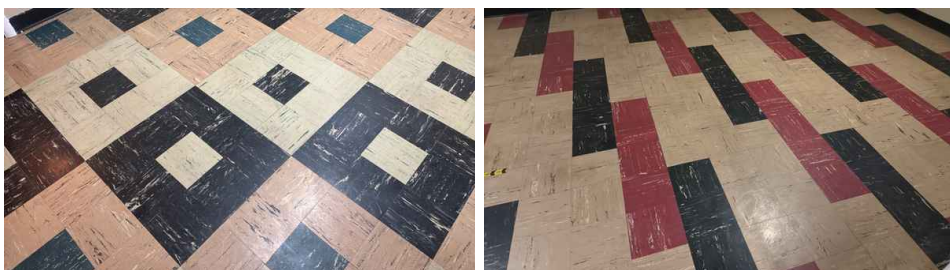
Homes built before 1978 have the potential to contain lead paint. Lead paint chips or dust can be harmful to adults, and particularly to children under 6 years of age. Have a sample tested to verify the presence of any lead in your home.



6.2.3 Potential Hazardous Materials

FLOORING

In some areas of the home, the flooring is of a type which may contain asbestos. In general if the flooring is not disturbed, it is not a health concern. If the flooring becomes friable, it is considered a health hazard. If this is a concern, an environmental company can be contacted for testing.



7: FOUNDATION

Information

Foundation: Type of Foundation Basement with foundation walls below grade tall enough to have living space and a finished floor.	Foundation: Materials Poured Concrete-Poured in place concrete 8 inches or more thick.	Foundation: Visibility Due to limited visibility a portion of the foundation is blocked from view and is not covered by this inspection.
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Basement: Basement Finished/Unfinished
The finished interiors are described in the room-by-room portions of the report. , Most all of the basement is finished into living space.

Notes

7.1.1 Foundation

INADEQUATE SLOPE AWAY FROM FOUNDATION

The drainage around the foundation should slope away from the foundation at a rate of 1/2 inch per foot for 6 feet away from the foundation. Portions of the ground around the perimeter may not meet this minimum standard.

 Recommended Repairs

7.1.2 Foundation

NO DRY ZONE

Portions of the landscaping do not establish a proper dry zone around the home. This may allow water to pool near the foundation which is not recommended and can cause damage or movement.

 Recommended Repairs



7.2.1 Basement

EGRESS WINDOWS

The windows in this basement are not egress accessible. The bedroom of the basement should not be considered a sleeping area as there is a health risk in the event if a fire.

 Recommended Repairs

8: ELECTRICAL

Information

Primary Power Source: Service Voltage

The incoming electrical service to this structure is 120/240 volts.

Main Distribution Panel: Panel Accessibility

The electrical panel is in a location that makes it readily accessible.

Main Distribution Panel: Panel Cover Removed

Yes



Primary Power Source: Service/Entrance/Meter

Overhead/Satisfactory - The masthead/supports/meter housing/cable entrance to the structure appear to be correctly installed.

Main Distribution Panel: Panel Type

Breakers - The structure is equipped with a breaker type main power panel. This is the desirable type; when a breaker trips off it can easily be reset. Caution: If a breaker is reset and trips back off this is an indication that there is a short or weakened condition in the circuit. Call a qualified licensed electrician for analysis of the existing problem.

Main Distribution Panel: Service Cable Type

Aluminum

Main Distribution Panel: Panel Location

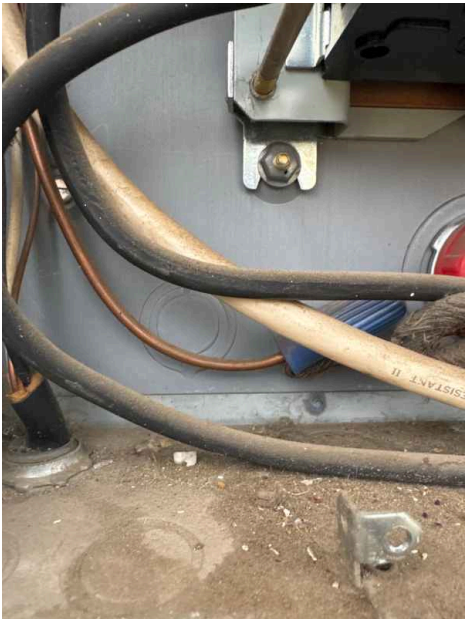
Rear of the house.

Main Distribution Panel: Main Breaker Size

100 AMP- The ampacity of the main power panel appears to be within the normal parameters for the structure's age. However a load analysis is recommended if you anticipate adding more circuits or load to the system.

Main Distribution Panel: Main Service Ground

Yes - The main service ground wire was located by the inspector.



Main Distribution Panel: Circuit Wiring Type

Copper-The structure is wired using plastic insulated copper single conductor cables.

Main Distribution Panel: Ground Fault Protected Outlets

Predate - This structure predates the requirement for newer construction of Ground Fault protected outlets. For safety reasons

Main Distribution Panel: Wire Protection/Routing

Visible wiring appears to be installed in an acceptable manner.

Sub Panel: Panel Location

Basement Store Room

Sub Panel: Panel Accessibility

The electrical panel is in a location that makes it readily accessible.

Sub Panel: Panel Type

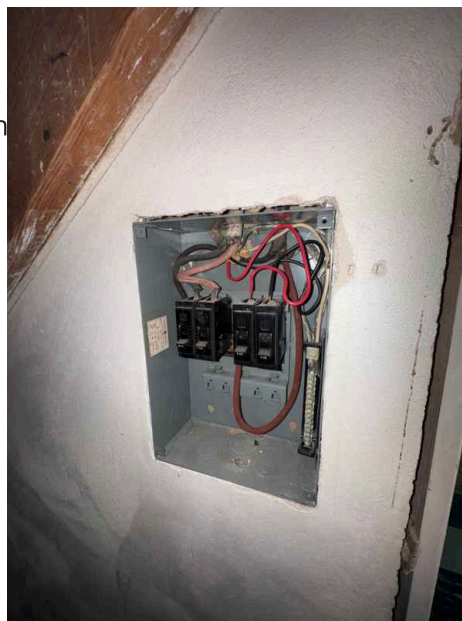
Breakers - The structure is equipped with a breaker type main power panel. This is the desirable type; when a breaker trips off it can easily be reset. Caution: If a breaker is reset and trips back off this is an indication that there is a short or weakened condition in the circuit. Call a qualified licensed electrician for analysis of the existing problem.

Sub Panel: Circuit Wiring Type

Copper-The structure is wired using plastic insulated copper single conductor cables., Copper multi-strand feeders are installed to deliver power to a downstream panel or appliances requiring higher amperage.

Sub Panel: Panel Cover Removed

Yes

**Sub Panel: Wire****Protection/Routing**

Visible wiring appears to be installed in an acceptable manner.

Sub Panel: Panel Location

Off of kitchen

Sub Panel: Panel Accessibility

The electrical panel is in a location that makes it readily accessible.

Sub Panel: Main Breaker Size

60 amp

Sub Panel: Panel Type

Breakers - The structure is equipped with a breaker type main power panel. This is the desirable type; when a breaker trips off it can easily be reset. Caution: If a breaker is reset and trips back off this is an indication that there is a short or weakened condition in the circuit. Call a qualified licensed electrician for analysis of the existing problem.

Sub Panel: Circuit Wiring Type

Copper-The structure is wired using plastic insulated copper single conductor cables.

Sub Panel: Panel Cover Removed

Yes

**Sub Panel: Wire Protection/Routing**

Visible wiring appears to be installed in an acceptable manner.

Smoke and Carbon Monoxide Alarms: Smoke Detectors

Yes - The structure is equipped with smoke or heat detectors. They should be tested periodically in accordance with the manufacturer's specifications. This does not imply that there is adequate coverage by the existing detector(s).

Smoke and Carbon Monoxide Alarms: Carbon Monoxide

Not Adequate- There are carbon monoxide detectors installed however there is not adequate coverage based on current standards. Carbon monoxide detectors should be installed within 15 ft of any bedroom door.

ARC Fault Protected Outlets: Bedrooms ARC Fault Protected

No- The bedrooms are Not ARC Fault protected as currently recommended.

Doorbell: Condition

Yes - At least one exterior door has a working doorbell.

Main Distribution Panel: Panel Condition

The power panel, as a container for safely covering electrical circuitry and components, is functioning as intended, minimizing the risk of electrical shock.

Main Distribution Panel: Breaker/Fuse to Wire Compatibility

The breakers/fuses in the main power panel appear to be appropriately matched to the circuit wire gauge.

Sub Panel: Panel Condition

The power panel, as a container for safely covering electrical circuitry and components, is functioning as intended, minimizing the risk of electrical shock.

Sub Panel: Breaker/Fuse to Wire Compatibility

The breakers/fuses in the main power panel appear to be appropriately matched to the circuit wire gauge.

Sub Panel: Panel Condition

The power panel, as a container for safely covering electrical circuitry and components, is functioning as intended, minimizing the risk of electrical shock.

Sub Panel: Breaker/Fuse to Wire Compatibility

The breakers/fuses in the main power panel appear to be appropriately matched to the circuit wire gauge.

Exterior Lighting: Satisfactory

Satisfactory - The exterior lighting appears functional. Also this is a benefit for security

Notes

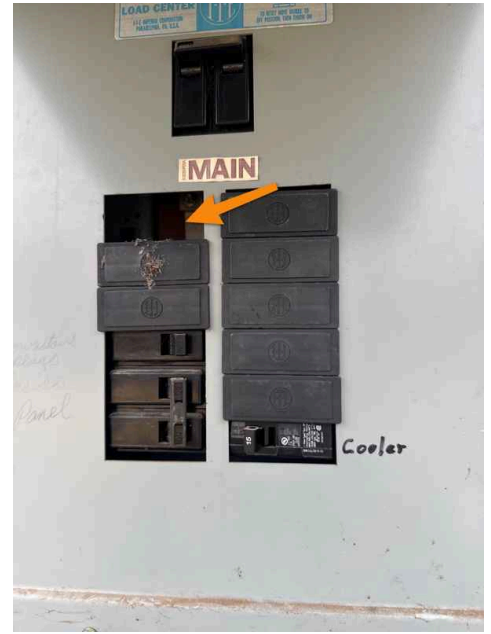
8.2.1 Main Distribution Panel

OPEN PANEL SLOTS

There are open slots in the panel breaker cover where a breaker is missing or a snap in cover is needed.



Recommended Repairs



8.2.2 Main Distribution Panel

UNGROUND 3-PRONG OUTLETS

As is the norm for the age of the house most of the wiring in the house is not grounded. Be aware that most all of the 3-prong outlets are not grounded and should have been left as 2-prong outlets. This is generally an unsafe condition as the original 2-prong outlets would not allow for a 3-pronged device to be plugged in and the 3-prong outlets give the appearance of being grounded. Just be aware of what your dealing with and any safety hazards are greatly reduced.



Recommended Repairs

8.2.3 Main Distribution Panel

FADING

The legend is fading. It is recommended that the legend be retraced if possible.



Normal Maintenance

8.3.1 Sub Panel

MISSING LEGEND

The breakers are not marked as to the rooms, areas, or appliances controlled. It is recommended that they be noted as soon as possible.



Recommended Repairs



8.4.1 Sub Panel

MISSING LEGEND

The breakers are not marked as to the rooms, areas, or appliances controlled. It is recommended that they be noted as soon as possible.

Recommended Repairs



8.5.1 Smoke and Carbon Monoxide Alarms

CO DETECTORS NOT ADEQUATE

There are CO detectors installed in the home, however, there are bedrooms that do not have a detector within 15 ft of the bedroom door. Per Colorado law, there must be a CO detector within 15 ft of any designated sleeping area. The detector cannot be partitioned by a door.

Recommended Repairs

9: PLUMBING

Information

Plumbing General Info: Plumbing Service Size to Structure 3/4"	Plumbing General Info: Plumbing Service Pipe Material Copper	Plumbing General Info: Location of Main Shut Off Basement
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Plumbing General Info: Interior Supply Pipe Size 3/4" - It then reduces to 1/2" or 3/8" risers.	Plumbing General Info: Interior Supply Pipe Material Copper	Drain Piping: Drain Pipe Material Iron
Drain Piping: Waste Line Cleanout Location Basement	Vent Piping: Satisfactory - Vent The visible plumbing vent piping appears functional.	Vent Piping: Vent Pipe Material Galvanized Steel, Cast Iron

Exterior Hose Bibs: Satisfactory
The exterior hose bib(s) appeared to function normally.

Supply Piping : Satisfactory
The visible portions of the plumbing show no significant signs of defect, appear to be properly supported, and correctly installed.

Drain Piping: Sewage Disposal Type
Public Sewer System
This inspection merely identifies the type of sewage waste disposal system. It does not comment on the adequacy or effectiveness of the system. For further evaluation, this Inspection Company may perform further testing under separate contract and direction.

Water Pressure: Water Pressure OK

Water pressure from 40 to 80 pounds per square inch is considered within normal/acceptable range.



Functional Supply: Satisfactory

By testing multiple fixtures at one time, functional flow of the water supply was verified.

Functional Drainage: Satisfactory

Functional drainage has been verified. Water drained from a random sample of fixtures or drains flows at roughly the same rate or faster than was supplied.

Objectional Odors: No

No objectionable odors were noted. This is generally an indication of leaks in the Drain/Waste/Vent system. A health hazard condition may exist.

Lawn Irrigation System: Yes

There is a lawn sprinkler system installed. It is recommended to go over the system with the owner or a lawn sprinkler company. The inspection of the installed lawn sprinkler is beyond the scope of this inspection.

Lawn Irrigation System: Backflow Preventer Annual Check

Backflow preventers should be checked annually by a qualified company. In some areas this is a required ordinance.



Notes

9.3.1 Drain Piping LEAKING PIPE



Recommended Repairs

There is evidence of a leak in the drain/waste piping system. A plumbing professional should be contacted for further assessment.

9.3.2 Drain Piping

SCOPE

I would recommend having the main line scoped out to the street so that you know the condition of this waste line since there is a possibility it is an older material.



Recommended Repairs

9.3.3 Drain Piping

CLEANOUT DAMAGED

The clean out in the basement has been damaged and may need repair. It is currently taped.



Recommended Repairs

9.4.1 Vent Piping

TOO CLOSE - COOLER

There are plumbing vents or exhaust flues within 10 feet of the evaporative cooler. Vents within this distance of a cooler should be elevated to 3 ft. above the cooler to prevent gases or exhaust from circulating into the home air.



Recommended Repairs



9.5.1 Water Pressure

NO PRV

There is no pressure regulator installed on the incoming service line. Installation of a pressure regulator is recommended to keep the pressure lower and consistent.



Recommended Repairs

9.8.1 Exterior Hose Bibs

VALVE SEAL LEAK

At least one of the exterior hose bibs leaked at the valve seal during the inspection when the water was on and the bib was capped to pressurize it. The packing probably just needs rebuilt or even tightened.



Recommended Repairs



9.12.1 Lawn Irrigation System



Recommended Repairs

TOO CLOSE

There's irrigation installed right next to the foundation of the home. This is not ideal as it prevents a moisture source close to the foundation and siding and could potentially cause damage or water entry. 3 to 4 feet of clearance is recommended between any irrigation and the foundation.



10: WATER HEATER

Information

General: Location Basement	General: Power Source Gas	General: Capacity 40 gal.
Flue/Exhaust Pipe Condition: Satisfactory The exhaust flue appears to be correctly installed.	Flue/Exhaust Pipe Condition: Material Metal	TPR Discharge Pipe: Satisfactory The overflow pipe is correctly installed.
Gas Valve: Yes There is a gas valve cutoff installed adjacent to the hot water tank.	Temperature Controls: Satisfactory The thermostat and temperature controls appear to function normally.	
General: Manufacturer Bradford & White It is recommended flushing & servicing of the water heater tank be done annually for optimal life span. This is especially important for tank-less water heaters which should also be flushed with hot vinegar. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.		
General: Year of Manufacture 2005 Modern water heaters have a life expectancy of 8-12 years on average. Older water heaters were given an average of 12-15. These are only averages and water heaters can surpass these parameters.		
Water Piping Condition: Satisfactory Satisfactory - The incoming and output piping is installed correctly and appears to be in sound condition		
Water Heater Fill Valve: Yes Yes - There is a fill valve installed on the incoming water line. This valve can be used to cut off the water supply to the water heater.		
TPR Valve: Satisfactory Satisfactory - The temperature and pressure relief valve is of the correct rating for the water heater.		
Drain Valve: Satisfactory Yes - There is a drain valve installed on the lower side of the water heater.		

Limitations

Fire Box Condition
SEALED

As is common with modern water heaters, the door is sealed and visibility of the firebox is limited.

Notes

10.1.1 General

AGE MONITOR

This unit has surpassed its average life expectancy. Modern water heaters have an average life expectancy of 8 to 12 years. The unit was functional during the inspection with no signs of failure at this time. This unit should be monitored.



Recommended Repairs

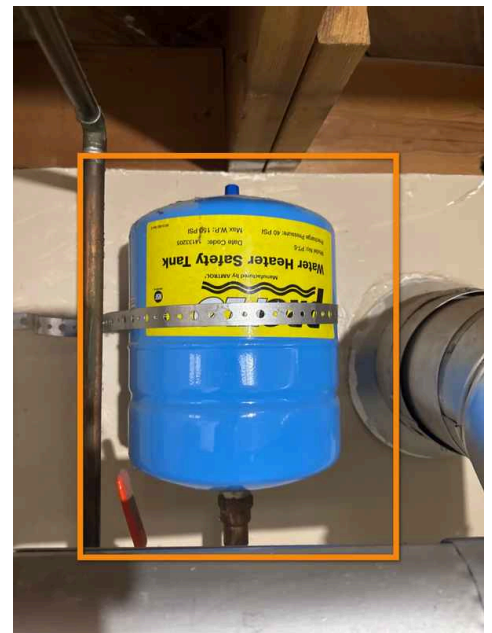
10.5.1 Expansion Tank

DIAPHRAGM FAILED

The expansion tank needs replaced. The diaphragm has failed and the tank is full of water.



Recommended Repairs



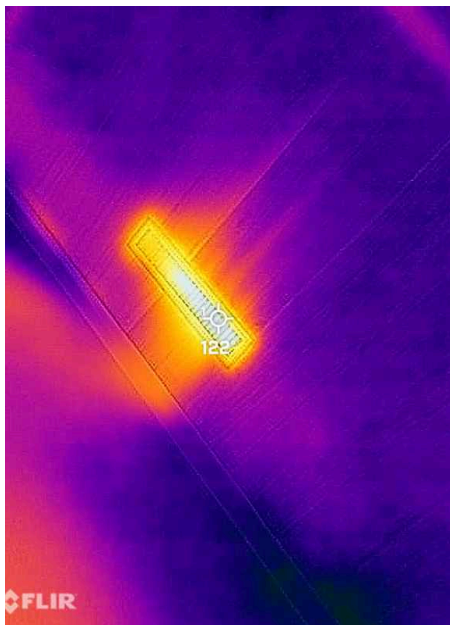
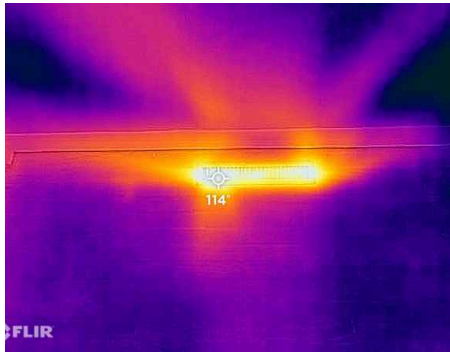
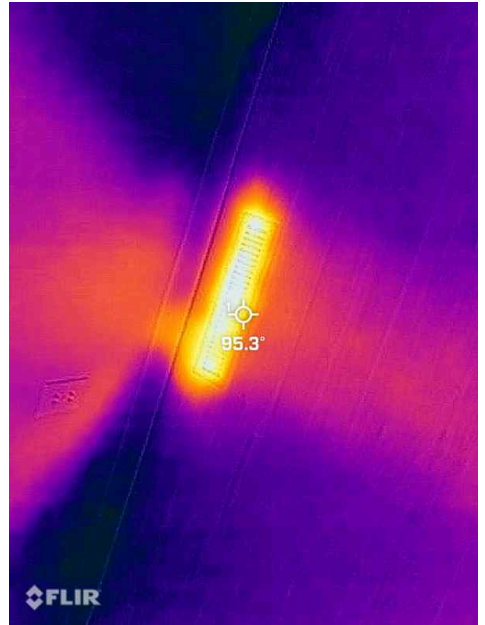
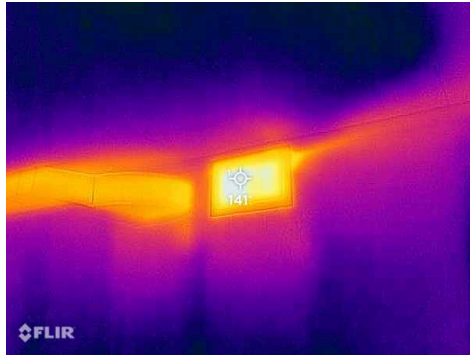
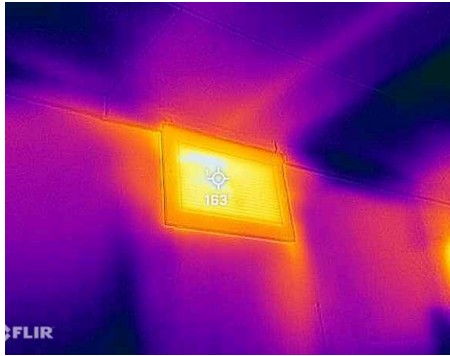
11: HEATING - FURNACE

Information

Location Basement	Brand Tempstar	Manufacture Date 1994
BTU Input 125,000 /HR	Energy Source Natural Gas	Unit Tested Yes
Flue Condition: Satisfactory The furnace flue as installed appears to be in satisfactory condition.	Filter: Filter Type 1" Paper	Filter: Filter Size 16x25x1"
Return Air: Yes The return air seems sufficient.	Thermostats: Satisfactory The thermostats activated the furnace when tested.	Thermostats: Thermostat Location Living Room

Temperature Differential

45-75, The actual temperature rise was within this range.



Draft Hoods and Draw: Satisfactory

The draft hoods on the gas-fired appliances are secure, and each gas appliance appears to be drawing as expected.

Secondary Air Adequacy: Satisfactory

Secondary air is the air required in fossil fuel-fired appliances to mix with the products of combustion and for removal of the products of combustion up the flue.

Carbon Monoxide: No CO Detected

No measurable amounts of carbon monoxide were noted at the time of the test. Be sure to have up to date CO detectors appropriately located in the home. At the least there should be a detector within 15 ft. of any designated sleeping area.

Limitations

Heat Exchanger Condition

NOT INSPECTED - EQUIP. BLOCKING

Equipment and controls which are part of the furnace block access to the heat exchanger. They must be removed to view the heat exchanger, which is beyond the scope of this inspection.

Notes

11.4.1 Heat Exchanger Condition

AGE

 Recommended Repairs

Forced air furnaces have a life expectancy of 18 to 20 years. This furnace as above that age. You should be prepared for its replacement although it is currently functioning.

11.6.1 Blower Condition

VIBRATIONS

 Recommended Repairs

Vibration was noted. It may be as simple as cleaning the fan blades. Repairs are needed.

11.6.2 Blower Condition

KILL SWITCH BYPASSED

 Safety Concern

The kill switch to the blower has been bypassed. This is not recommended as this is a safety feature.



11.7.1 Filter

REPLACE

 Normal Maintenance

The filter is in need of cleaning or replacement. Replacing or cleaning filters every 30 to 45 days is recommended for the best performance and efficiency.

11.8.1 Ducts Condition

CLEAN



Normal Maintenance

Cleaning the interior of the ducts is recommended.

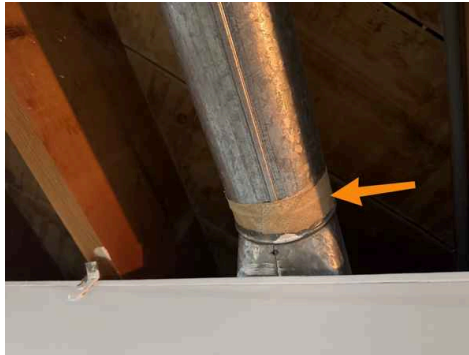
11.8.2 Ducts Condition

ASBESTOS SEAM TAPE



Recommended Repairs

The seams of the ducts are sealed with what appears to be a mineral fiber. It is possible that it is an asbestos-containing material. Asbestos is considered a health concern if it is in a friable state and can dust into the air. If asbestos is not disturbed and sealed, it is not considered an immediate concern.



12: COOLING

Information

Evaporative Cooler: Location
Window

Evaporative Cooler: Brand
Brisa

Evaporative Cooler: Year of Manufacture
Unknown

Evaporative Cooler: Ducting
Single Central Duct

Evaporative Cooler: Tested?
No - The unit was winterized drained and unplugged.

Evaporative Cooler 2: Location
Roof



Evaporative Cooler 2: Brand
Unknown

Evaporative Cooler 2: Ducting
Ducting to Multiple rooms

Evaporative Cooler 2: Tested?
No - The unit was winterized drained and unplugged.



13: KITCHEN

Information

General: Location North	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Window: Satisfactory The windows and associated hardware in this kitchen are satisfactory.	Floor: Floor Material Vinyl	Lighting: Satisfactory The lights in the kitchen are in satisfactory condition.
Cabinetry: Satisfactory The cabinets, doors, and drawers are functional.	Faucet and Supply : Satisfactory Faucets and supply lines appear satisfactory with no leaks noted.	Sink and Drain: Satisfactory The sink and drainage lines appear to be satisfactory.
Oven/Cooktop: Range/Oven Energy Source Electric	Range Hood: Exhaust Hood Type Vented	Refrigerator: Valve There is a water valve noted in the area of the refrigerator.
Heat Source: Satisfactory There is a heat source noted in the kitchen and it is functional.		
Electrical Outlets: Satisfactory The outlets tested in the kitchen are correctly wired and grounded. They also have GFCI protection as per modern standards		
Sink and Drain: Previous Leak There is evidence of a previous leak below the sink. The faucet was tested and there is no current sign of water in the area. This should be monitored.		
Oven/Cooktop: Satisfactory There is a range top and oven. They appeared to function correctly at the time of the inspection. The timers and temperature settings were not tested and are not a part of this inspection.		
Range Hood: Satisfactory The range hood and exhaust fan appeared to work correctly on one or all speeds. There is a filter installed, and it will require periodic cleaning.		
Refrigerator: Satisfactory There is a refrigerator installed. This inspection determines only if the unit is currently keeping foodstuffs cold. The freezer portion of the refrigerator is required to freeze water. This refrigerator appears to pass this minimum inspection.		

Notes

13.4.1 Window

LOCK ADJUST

The locking hardware needs to be realigned to function appropriately.



13.5.1 Floor

TEARS/CUTS

There are tears and cuts in the flooring. Kitchen flooring should ideally be waterproof to help prevent leaks below. It may be beneficial to replace the flooring at some point.



13.8.1 Electrical Outlets

RECOMMEND GFCI

This kitchen does not have Ground Fault Circuit Interrupt outlets installed. The age of the structure may predate the required installation; however, for safety considerations, it is strongly suggested that one be installed at any location within 6 feet of a water source.

13.9.1 Cabinetry

LATCHES

Several of the latches need adjustment so that the doors will stay shut.



13.10.1 Counter Tops

NORMAL AGE

There is some normal deterioration for the age. Normal signs of age include chipped surfaces, expanding corner seams and the front edge de-laminating a bit.

13.13.1 Waste Disposal

INOPERABLE

Garbage disposal was inoperable at the time of inspection. Recommend a qualified plumber repair.

13.17.1 Range Hood

EXHAUST DUCT TERMINATES IN ATTIC

Exhaust from range hood terminates into the attic. This can result in moisture damage and mold in the attic. Recommend a qualified contractor re-route this duct to terminate to the exterior.

13.17.2 Range Hood

MISSING SCREEN

The vent screen is missing.

13.17.3 Range Hood

ELECTRICAL CONNECTIONS UNSAFE

All electrical connections should be contained in an approved junction box. Consult a licensed electrician.

 Safety Concern



13.18.1 Refrigerator

ICEMAKER TUB

The icemaker tub or bucket is missing

 Recommended Repairs



14: LAUNDRY ROOM

Information

Location: Location Basement Between the Hallway and Primary bedroom closet.	Lighting: Satisfactory Lighting in the laundry is adequate.	Electrical Outlets: Satisfactory The outlets tested in the laundry are correctly wired and grounded.
Electrical Outlets: GFCI Outlets No-See Notes	Dryer: Dryer Power Source 240v Electric	
Washer: Satisfactory A washer is installed. It was tested and functioned normally during the inspection		
Washer: Connection Box Okay The valves in the connection box were tested and supply water. The drain line cannot be tested.		

Notes

14.8.1 Electrical Outlets

RECOMMEND GFCI

This laundry room does not have a Ground Fault Circuit Interrupt outlet installed. The age of the structure may predate the required installation. However, for safety considerations, it is suggested that one be installed at any location within 6 feet of a water source.

 Safety Concern

14.10.1 Dryer

NOISY

There was significant bearing or drum noise during operation. Although it appeared functional, it may require some service.

 Recommended Repairs

14.11.1 Dryer Vent

CLEAN DUCT

The dryer vent duct shows sign it is in need of cleaning. This should be done regularly as dryer vents are a leading cause of house fires.

 Recommended Repairs

14.11.2 Dryer Vent

MESH OR GRATE

 Recommended Repairs

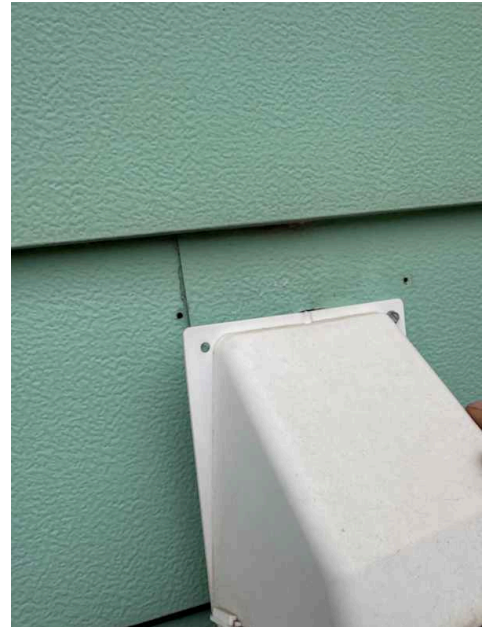
There is a mesh or grate installed on the vent hood. This can inhibit air flow and increase lint buildup. It is recommended the grate be removed.



14.11.3 Dryer Vent
HOOD- NOT ANCHORED



Recommended Repairs



15: BATHROOM 1

Information

General: Location Guest hallway	Interior Entry Door: Satisfactory The entry door to the bathroom is functional.	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.
Walls: Satisfactory The walls shows no current signs of defect or other concerns.	Floor: Floor Material Tile	Window: Satisfactory The windows and associated hardware in the bathroom are satisfactory.
Ventilation Fans: Satisfactory There is a ventilation fan present and it functions using normal controls.	Lighting: Satisfactory The lights in the bathroom are in satisfactory condition.	Electrical Outlets: Satisfactory The outlets tested in the bathroom are correctly wired and grounded.
GFCI Outlets: Functional GFCI In bathroom- The GFCI is functional and located in the bathroom.	Vanity Cabinet: Satisfactory The vanity cabinet and top in this bathroom are satisfactory.	Faucet and Supply: Satisfactory Faucets and supply lines appear satisfactory.
Tub Plumbing: Satisfactory The tub mixing valve and the tub unit are in satisfactory condition.	Tub and Shower Walls: Satisfactory The walls and pan or basin appear to be in satisfactory condition.	Heat Source: Satisfactory There is a heat source in this room.
Floor: Condition The flooring was in satisfactory condition with no noticeable defects.		
Faucet and Supply: Shutoffs There are shutoffs installed for both hot and cold water pipes under the basin.		

Notes

15.2.1 Interior Entry Door

RUBS

The door rubs on the frame when opening and closing. The door may need hardware corrections or other repairs to close without rubbing.

 Recommended Repairs

15.7.1 Ventilation Fans

INTO ATTIC

 Normal Maintenance

The ventilation fan vents into the attic space. This is not ideal but rarely causes an issue in this area as this region has a drier climate. This time there is no sign that this is causing an issue.

15.10.1 GFCI Outlets

GFCI AGE



Normal Maintenance

GFCI outlets are recommended for replacement at around a 20 year interval. This GFCI may be due for replacement.

15.13.1 Basin and Drainage



Recommended Repairs

STOPPER LEVER

There is a leak where the stopper lever fitting connects to the drain line. It is recommended this be adjusted or replaced to prevent this leak.



15.13.2 Basin and Drainage



Recommended Repairs

SLOW DRAIN

The lavatory drains slowly. There may be some blockage either in the fixture or the drain line. The trap may need to be cleaned out or this may be an issue that requires professional attention from a plumber.



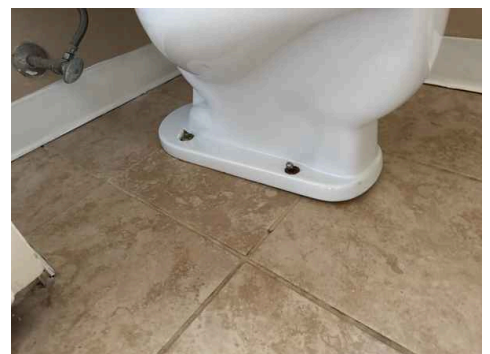
15.14.1 Toilet



Recommended Repairs

NOT SECURE

The toilet is not secure to the floor, allowing it to wobble or twist and possibly leak. Action should be taken to re-secure it to the floor. Replacement of the wax seal is recommended as well.



15.15.1 Tub Plumbing
VALVE LEAKS

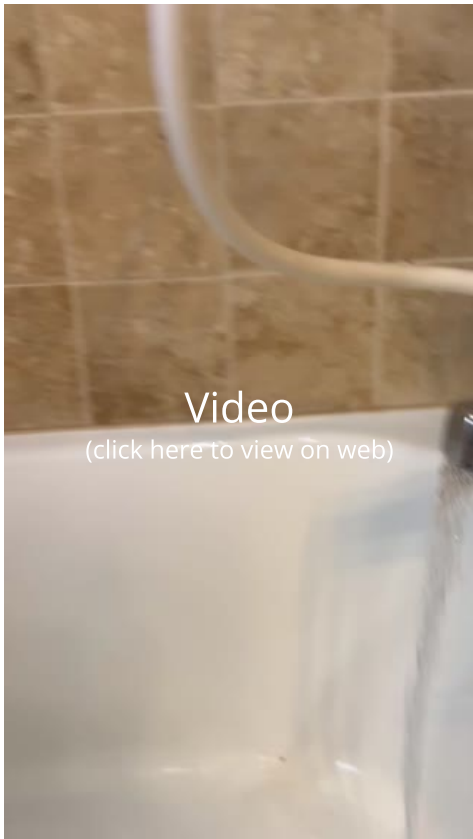
 Recommended Repairs



15.16.1 Shower Plumbing
DIVERTER VALVE

 Recommended Repairs

The diverter valve did not adequately direct water to the shower head. for the shower to function properly, it should be repaired or replaced.



16: BATHROOM 2

Information

General: Location Basement	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Floor: Floor Material Linoleum	Window: Satisfactory The windows and associated hardware in the bathroom are satisfactory.	Lighting: Satisfactory The lights in the bathroom are in satisfactory condition.
Electrical Outlets: Satisfactory The outlets tested in the bathroom are correctly wired and grounded.	GFCI Outlets: Functional GFCI In bathroom- The GFCI is functional and located in the bathroom.	Faucet and Supply: Satisfactory Faucets and supply lines appear satisfactory.
Toilet: Satisfactory The toilet in this bathroom appears to be functional.	Shower Plumbing: Satisfactory The shower, shower head, and mixing valves are all performing as required.	Heat Source: Satisfactory There is a heat source in this room.
Floor: Potential Asbestos The floor tiles are of a size and shape that may contain asbestos. This is difficult to tell without testing. If this is a concern, tiles can be tested. As a general rule, if as best as materials are sealed and not Disturbed, they are not considered a safety hazard.		
Faucet and Supply: Shutoffs There are shutoffs installed for both hot and cold water pipes under the basin.		

Notes

16.2.1 Interior Entry Door

DOORKNOB

The doorknob assembly is not functioning well or needs repair.

 Recommended Repairs

16.2.2 Interior Entry Door

LATCH

The latch or strike plate needs to be reinstalled so that the door will latch correctly.

 Recommended Repairs



16.13.1 Basin and Drainage

NO STOPPER

There is no stopper.



Recommended Repairs

16.13.2 Basin and Drainage

LEAK-DETERIORATED METAL

There is an active leak from the waste piping. A plumber is needed to prevent further damage.



Recommended Repairs



16.16.1 Shower Plumbing

LOOSE

The pipe of the shower head is slightly loose. Ideally, the piping is anchored inside the wall. It would be best to secure the pipe in the wall to prevent where at the plumbing connections.



Recommended Repairs

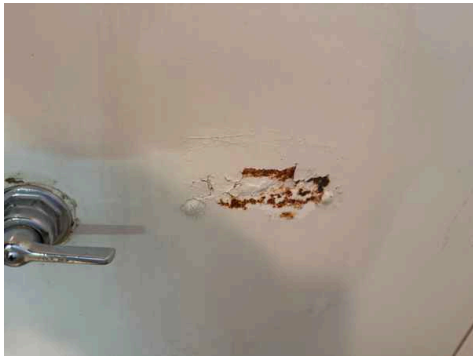
16.17.1 Tub and Shower Walls

CORROSION

Corrosion is present in at least one location on the shower wall. This may lead to the Potential for leaks behind the shower wall, which is not ideal.



Recommended Repairs



17: BEDROOM 1

Information

General: Location East, Second Floor	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Windows: Satisfactory The windows and associated hardware in the bedroom are satisfactory.	Floors: Floor Coverings Hardwood	Closet: Satisfactory The closet is functional and of average size.
Lighting: Satisfactory The lights in the bedroom are in satisfactory condition.	Electrical Outlets: Sat 2 Prong The 2-prong ungrounded outlets are correctly installed and functional	Heat Source: Yes There is a heat source to this room.
Ceiling Fan: Satisfactory There is a ceiling fan installed in this bedroom. It appears to be functional.		

Notes

17.2.1 Interior Entry Door
REMOVED

 Recommended Repairs

17.6.1 Floors
MOISTURE DAMAGE

Floors had areas of visible moisture damage. Recommend a qualified flooring contractor evaluate & repair areas of moisture.

 Recommended Repairs



17.9.1 Ceiling Fan
LIGHT COVER MISSING

 Recommended Repairs



17.11.1 Smoke Detectors

RECOMMEND

 Recommended Repairs

There is no smoke detector installed in this bedroom. For safety considerations, you should consider installation of a battery operated or hardwired smoke detector.

18: BEDROOM 2

Information

General: Location Southeast, Second Floor	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Windows: Satisfactory The windows and associated hardware in the bedroom are satisfactory.	Floors: Floor Coverings Hardwood	Floors: Satisfactory Condition The flooring in this room is in satisfactory condition overall.
Closet: Satisfactory The closet is functional and of average size.	Electrical Outlets: Sat 2 Prong The 2-prong ungrounded outlets are correctly installed and functional	Heat Source: Yes There is a heat source to this room.
Heat Source: Adequate Returns The air returns appear to be adequate.		

Notes

18.2.1 Interior Entry Door

RUBS

The door rubs on the jamb when opening and closing.

Recommended Repairs

18.2.2 Interior Entry Door

NO KNOB INSTALLED

Recommended Repairs



18.8.1 Lighting

BATTERIES

The remote did not turn on the fan or light. It may need new batteries.



18.10.1 Smoke Detectors

RECOMMEND

 Recommended Repairs

There is no smoke detector installed in this bedroom. For safety considerations, you should consider installation of a battery operated or hardwired smoke detector.

19: BEDROOM 3

Information

General: Location Southeast, Basement	Floors: Floor Coverings Engineered Wood	Floors: Satisfactory Condition The flooring in this room is in satisfactory condition overall.
Closet: Satisfactory The closet is functional and of average size.	Electrical Outlets: Sat 2 Prong The 2-prong ungrounded outlets are correctly installed and functional	Heat Source: Yes There is a heat source to this room.

Walls: Prior Cracking

There is some minor cracking noted. Be sure to take note of any future movement. Most minor cracking is due to shrinkage of the construction materials, normal vibrations, or initial settling. If the aesthetic of the crack is a concern, a drywall professional can be contacted to make changes.



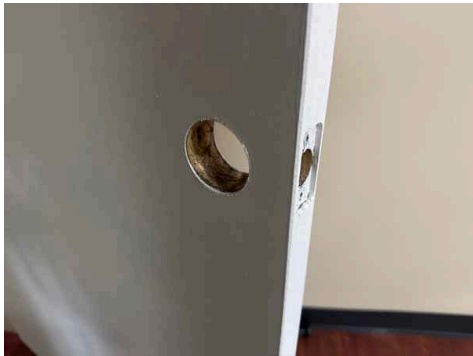
Limitations

Ceiling Fan
BAD BATTERIES
The fan remote needs new batteries.

Notes

19.2.1 Interior Entry Door
NO KNOB

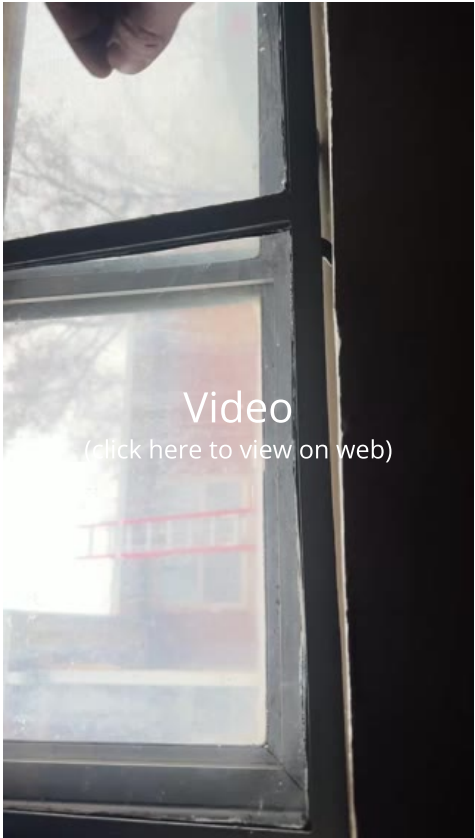
Recommended Repairs



19.5.1 Windows

REPAIR- REPLACE

 Recommended Repairs



19.10.1 Electrical Outlets

TIRED OUTLET

 Recommended Repairs

Tired outlet noted. This means the retention ability is lacking as the contact have grown loose with use. A plug can slide out of the socket and create a spark on the way out. Replacement of the outlet receptacle is needed.

19.11.1 Smoke Detectors

RECOMMEND

 Recommended Repairs

There is no smoke detector installed in this bedroom. For safety considerations, you should consider installation of a battery operated or hardwired smoke detector.

20: FRONT ENTRY AND HALLWAY

Information

General: Direction of Front Entry North	General: Floor Material Wood	Front Entry Door: Front Door Condition The main entry door to the structure is in functional condition
Main Hallway: Walls The main hallway walls are in satisfactory condition.	Main Hallway: Flooring The main hallway flooring is in satisfactory condition.	Main Hallway: Ceiling The main hallway ceiling in satisfactory condition.
Main Hallway: Guest Closet The guest closet is functional and of average size.		

Notes

20.2.1 Front Entry Door
NO DEADBOLT

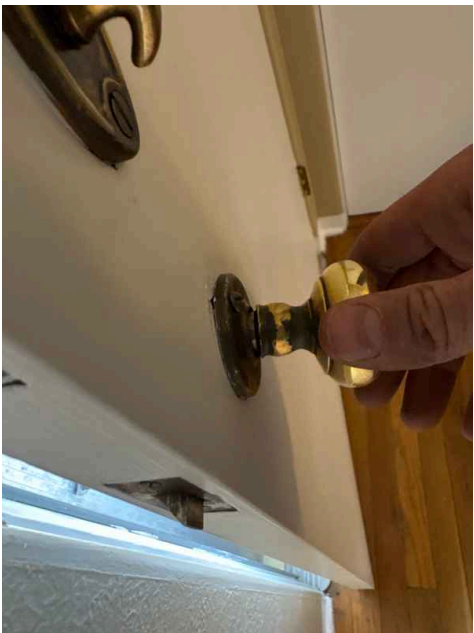
Recommended Repairs

20.2.2 Front Entry Door
HOLLOW
The door is hollow

Recommended Repairs

20.2.3 Front Entry Door
KNOB

Recommended Repairs



21: LIVING ROOM

Information

General: Location North	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Windows: Satisfactory The windows and associated hardware in the room are satisfactory.	Floor: Floor Material Wood	Floor: Satisfactory The floors are in satisfactory condition.
Lighting: Satisfactory The lights in the room are in satisfactory condition.	Electrical Outlets: Sat 2 Prong The 2-prong ungrounded outlets are correctly installed and functional	Heat Source: Satisfactory There is a heat source to this room.
Ceiling: Minor Cracking There is some minor cracking noted. Be sure to take note of any future movement. Most minor cracking is due to shrinkage of the construction materials. If the aesthetic of the crack is a concern, a drywall professional can be contacted to make changes.		

Notes

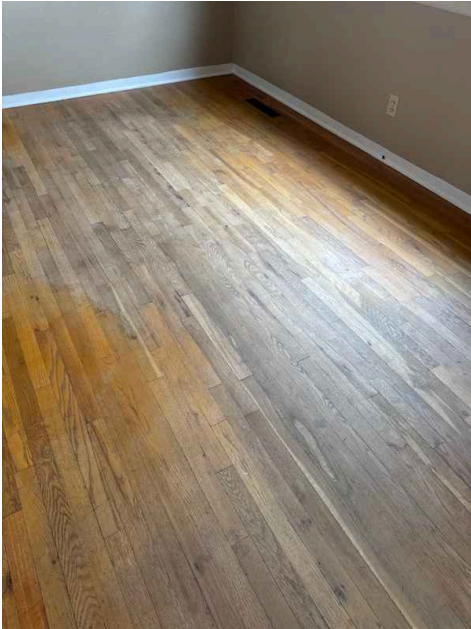
21.6.1 Windows
MISSING WINDOWSILL

 Recommended Repairs



21.7.1 Floor
REFINISH

 Recommended Repairs



21.9.1 Ceiling Fan
RUNNING



Recommended Repairs

The fan blades are rubbing on the glass cover. Repair is needed.



21.10.1 Electrical Outlets
TIRED OUTLET



Recommended Repairs

Tired outlet noted. This means the retention ability is lacking as the contact have grown loose with use. A plug can slide out of the socket and create a spark on the way out. Replacement of the outlet receptacle is needed.

22: FAMILY ROOM

Information

General: Location Basement	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Floor: Floor Material Linoleum	Floor: Satisfactory The floors are in satisfactory condition.	Lighting: Satisfactory The lights in the room are in satisfactory condition.
Electrical Outlets: Sat 2 Prong The 2-prong ungrounded outlets are correctly installed and functional	Heat Source: Satisfactory There is a heat source to this room.	

Notes

22.10.1 Electrical Outlets

TIRED OUTLET

Tired outlet noted. This means the retention ability is lacking as the contact have grown loose with use. A plug can slide out of the socket and create a spark on the way out. Replacement of the outlet receptacle is needed.

 Recommended Repairs

23: DINING ROOM

Information

General: Location West	Walls: Satisfactory The walls shows no current signs of defect or other concerns.	Floor: Floor Material Wood
Floor: Satisfactory The floors are in satisfactory condition.	Windows: Satisfactory The windows and associated hardware in the room are satisfactory.	Ceilings: Satisfactory The ceiling is functional and as l expected.
Lighting: Satisfactory The lights in the room are in satisfactory condition.	Electrical Outlets: Sat 2 Prong The 2-prong ungrounded outlets are correctly installed and functional	Heat Source: Yes There is a heat source to this room.

Notes

23.8.1 Electrical Outlets

TIRED OUTLET

Tired outlet noted. This means the retention ability is lacking as the contact have grown loose with use. A plug can slide out of the socket and create a spark on the way out. Replacement of the outlet receptacle is needed.

 Recommended Repairs

24: BONUS ROOM

Information

General: Location

Basement entry

Walls: Satisfactory

The walls shows no current signs of defect or other concerns.

Floor: Floor Material

Linoleum

Electrical Outlets: Satisfactory

The outlets tested in this room are correctly wired and grounded.

Electrical Outlets: Sat 2 Prong

The 2-prong ungrounded outlets are correctly installed and functional

Smoke Detectors: Yes

There is a smoke detector installed in the room.

25: CARPORT

Information

Type Attached	Size One car	Number of Overhead Doors There is a single overhead door
Garage Floor: Satisfactory The garage floor is in satisfactory condition.	Garage Roof: Attached The garage is attached to the house.	Post Condition: Material Wood
Garage Ceiling: Satisfactory The ceiling in the carport is in a satisfactory condition with no noted concerns.		
Post Condition: Satisfactory Satisfactory - There is a post supporting an overhead beam in the garage. It appears to be adequately installed.		



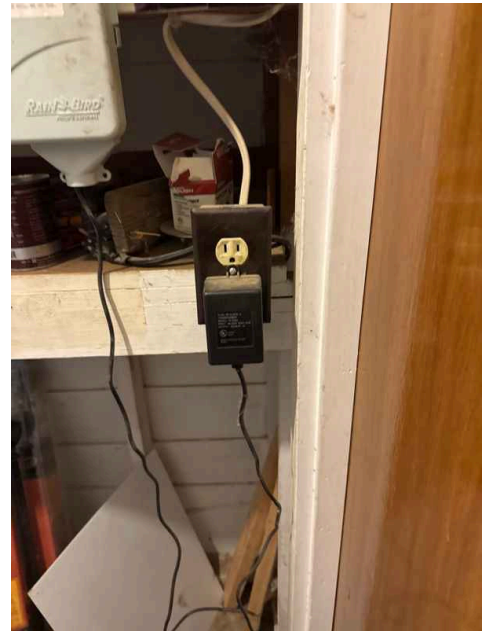
Electrical Service to Garage: Satisfactory
The outlets tested in the garage are correctly wired and grounded.

Notes

25.12.1 Electrical Service to Garage

RECOMMEND GFCI

This carport does not have Ground Fault Circuit Interrupt outlets installed. The age of the structure may predate the required installation; however, for safety considerations, it is suggested GFCI protection be installed.

 Safety Concern

25.12.2 Electrical Service to Garage

CONDUIT

Electrical in the carport should be enclosed in conduit to protect the wiring and users.

 Recommended Repairs