



BROTHERS' INSPECTION INC

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RESIDENTIAL REPORT

1234 Main Street
Grand Junction, CO 81505

Buyer Name

08/26/2026 9:00AM



Inspector

John Tinker

Inter-nachi Certified Home Inspector

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Agent

Agent Name

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At your request a visual inspection of the above referenced property was conducted. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement. Our standards of operation are attached at the end of this report.

1: INSPECTORS OPINION

Information

Inspectors Opinion

This early 1980s home was built on a concrete foundation with a basement. Very little evidence of structural movement was visible. Landscaping and gutter improvements are recommended to ensure water is being diverted away from the home. There is some evidence of high moisture levels at the base of the foundation in the basement. Roof covering was in satisfactory condition overall. The major mechanical systems were functioning as expected. Regular maintenance is recommended. An expansion tank is recommended to be installed on the water heater. The plumbing systems were in satisfactory condition. Overall no active leaks were noted.. The water pressure was above the recommended range. A pressure regulator would be beneficial. GFCI and outlet maintenance is needed in several areas. Consult a licensed electrician. Smoke alarm and carbon monoxide updates are recommended. All other noted items can be found in the report below. Please contact me with any questions. Thank you for choosing Brothers Inspection!

2: INSPECTION DETAILS

Information

Site Conditions: In Attendance Tenant	Site Conditions: Occupancy Occupied	Site Conditions: Style Multi-level
Site Conditions: Temperature (approximate) 55 Fahrenheit (F)	Site Conditions: Type of Building Single Family	Site Conditions: Weather Conditions Cloudy
Utilities: Electric Service Location Underground.	Utilities: Water Source/Meter Clifton	Utilities: Fuel Type Natural gas is provided by a regulated service company or utility.
		
Utilities: Cable Service Underground.	Utilities: Telephone Service Underground	Gas Services: Location Left side of the house.
Gas Services: Type of Supply Natural Gas.	Gas Services: Gas Fired Equipment Furnace/boiler., Water heater.	Gas Services: Gas Appliances in Garage Area No-None installed in the garage area.
Gas Services: Gas Line Primary Piping Material Black Iron Pipe., CSST (corrugated stainless steel tubing).	Gas Services: Vents Noted from Roof View There is at least one gas-fired vent stack through the roofline.	

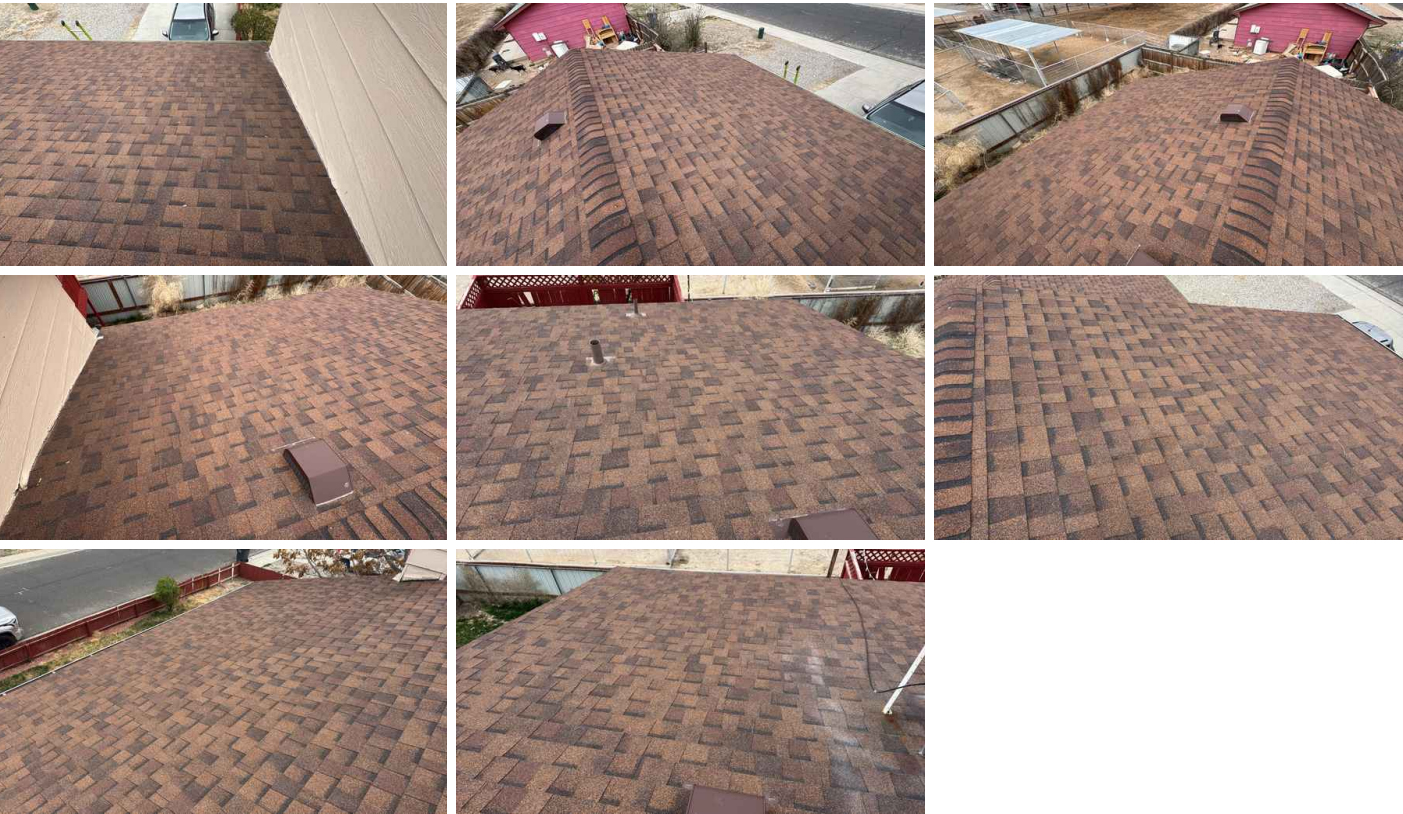
3: ROOF

Information

Roof Type/Style Gable	Inspection Method Ladder, Walk On	Coverings: Material Fiberglass
Coverings: Layers 1	Ridges: Satisfactory The ridge covering material appears to be in satisfactory condition.	

Coverings: Normal Granular Loss

The roof covering material is in a condition that is consistent with its age and method of installation, showing no deficiency or cause for immediate concern.



Notes

3.4.1 Flashings

FASTEN BOTTOM EDGE

The bottom edge of some of the flashings are lifting up. It would be best to secure these down so as to prevent wind damage.

Recommended Repairs



3.6.1 Gutters and Drainage Systems

DOWNSPOUT EXTENSIONS

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement and other issues. Installation of downspout extensions would help carry the water further away from the foundation.



Recommended Repairs



3.6.2 Gutters and Drainage Systems

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.



Normal Maintenance



3.6.3 Gutters and Drainage Systems

PARTIAL GUTTER SYSTEM

There are gutters installed in some areas of the roof. Having a comprehensive gutter system is important to manage water around the foundation.



Recommended Repairs



3.6.4 Gutters and Drainage Systems

DOWNSPOUT EXTENSION BURIED

 Recommended Repairs

Down about extension on the south east corner of the home is buried. This is not ideal. It should be uncovered and cleaned for proper drainage.



4: ATTIC, INSULATION & VENTILATION

Information

Attic Inspection Method Entrance	Attic Type Storage - The attic cavity has capacity for storage of light boxes or items.	Roof Decking Material Plywood, OSB
Access Garage, Bedroom Scuttle	Roof Framing : H-Clips Present No H-Clips help prevent sagging at the sheathing joints.	Ventilation: Ventilation Type Box Vents
Attic Insulation: Type of Insulation Fiberglass Loose, Cellulose		
Roof Framing : Satisfactory The roof framing appears to be in functional condition.		



Roof Bracing: Satisfactory

The roof bracing appears to be in functionally carrying the load of the rafters.

Evidence of Leaks : Evaporative Cooler Stains

There is staining on the roof decking boards around the evaporative cooler. The area was dry during the inspection. It is recommended this area be monitored. The current owners can be asked if they are aware of any previous or ongoing issues.



Ventilation: Satisfactory

There appears to be adequate ventilation installed. There are no signs of moisture or heat issues.

Attic Insulation: Inches of Insulation

Over 10"



5: EXTERIOR

Information

Siding, Flashing & Trim: Siding Material Wood, Fiber Board	Exterior Doors: Exterior Entry Door Steel	Decks, Balconies, Porches & Steps: Type Front Deck
Decks, Balconies, Porches & Steps: Material Wood	Decks, Balconies, Porches & Steps 2: Type Back Deck	Decks, Balconies, Porches & Steps 2: Material Wood
Driveways: Driveway Material Concrete	Fencing: Materials Wood, Metal	
Exterior Doors: Condition The exterior doors are satisfactory and have deadbolts install installed.		

Notes

5.1.1 Siding, Flashing & Trim

Recommended Repairs

EARTH TO SIDING CLEARANCE
There does not appear to be adequate clearance between the earth and the siding or framing members of the structure. This can cause damage or create a path for insects.



5.1.2 Siding, Flashing & Trim

Recommended Repairs

EVIDENCE OF WATER INTRUSION

Siding showed signs of water intrusion. This could lead to further siding deterioration and/or mold. Recommend a qualified siding contractor evaluate and repair.



5.1.3 Siding, Flashing & Trim

PAINT NEEDED

Areas of siding or trim were worn and would benefit from paint updates. This can be a qualified painter or siding specialist.



5.1.4 Siding, Flashing & Trim

MINOR DAMAGE

There is minor damage to the siding. At some point it would be best to replace damaged boards.



5.1.5 Siding, Flashing & Trim

CORNER FLASHING MISSING

Some of the metal corner flashing is missing. It should be replaced to prevent water and pest entry.



Recommended Repairs



5.1.6 Siding, Flashing & Trim

ROOF TO SIDING CLEARANCE

It would be beneficial to increase the clearance between the roof covering and the siding. It is inadequate and it is causing moisture damage and swelling



Recommended Repairs



5.2.1 Eaves, Soffits & Fascia

FASCIA - LOOSE

One or more sections of the fascia are loose. Recommend qualified roofer evaluate & repair.



Recommended Repairs



5.2.2 Eaves, Soffits & Fascia

SOFFITS AFFECTED BY WATER



Recommended Repairs

The soffits show signs of being affected by water. This is evidenced by cracking and wrinkling. This can be common in older homes. It should be monitored to ensure that the roof flashing is preventing water from affecting the soffit boards.



5.2.3 Eaves, Soffits & Fascia

SOFFITS - ANCHOR SOFFIT



Recommended Repairs

Some areas of the soffit would benefit from better anchoring.



5.4.1 Windows

PLEXIGLASS

One of the panes of glass at the front entry have been replaced with plexiglass. This is not ideal.



Recommended Repairs



5.5.1 Decks, Balconies, Porches & Steps

DECK - LOOSE BOARDS

One or more deck boards were observed to be loose. Recommend they be refastened.

[Here is a helpful article](#) for minor DIY deck repair.



Recommended Repairs

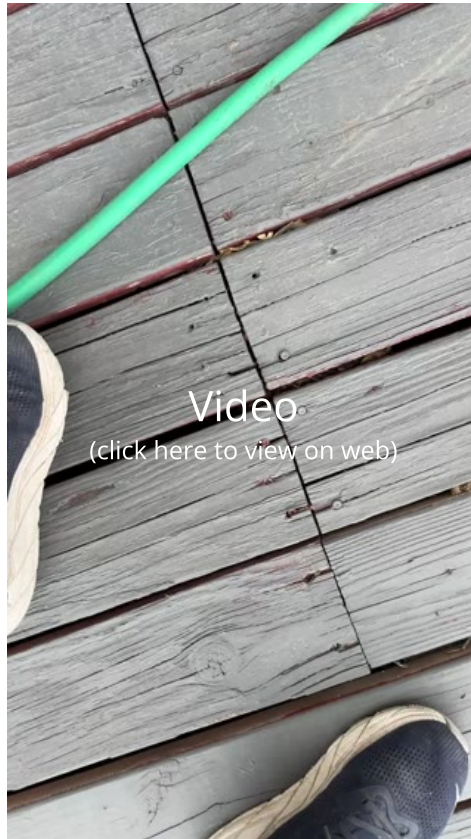
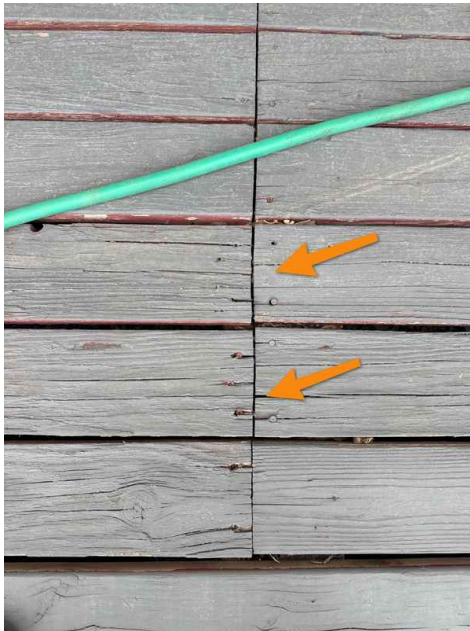
5.5.2 Decks, Balconies, Porches & Steps

DECK - ROTTED BOARDS

One or more deck boards are showing signs of rot. Recommend a qualified deck contractor replace.



Recommended Repairs



5.5.3 Decks, Balconies, Porches & Steps

DECK - WATER SEALANT REQUIRED



Deck is showing signs of weathering and/or water damage. Recommend water sealant/paint be applied.

5.6.1 Decks, Balconies, Porches & Steps 2

DECK - UNSTABLE SUPPORT



One of more areas of the deck support appears unstable. This could cause a safety hazard and further deterioration of the deck. Recommend qualified deck contractor evaluate and repair.



No screws in hanger





Nails backing out

5.6.2 Decks, Balconies, Porches & Steps 2

DECK - WATER SEALANT REQUIRED

 Recommended Repairs

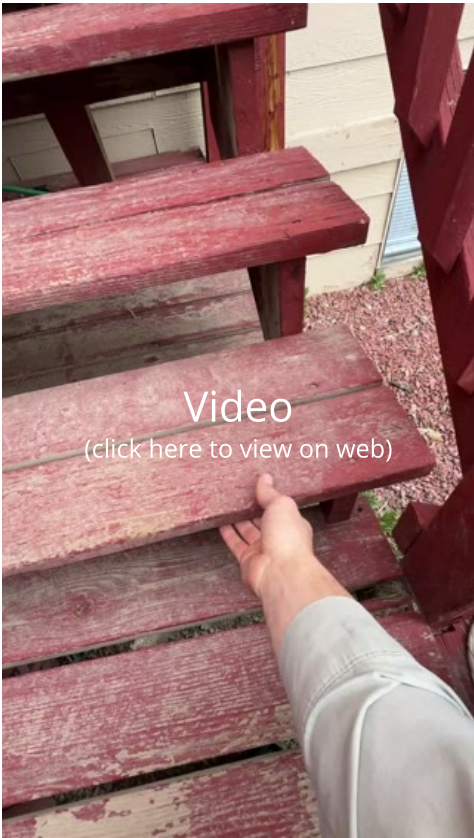
Deck is showing signs of weathering and/or water damage. Recommend water sealant/paint be applied.

5.6.3 Decks, Balconies, Porches & Steps 2

STAIRS- REPLACE

 Recommended Repairs

The stair stringers are damaged in one or more areas. Replacement is needed.

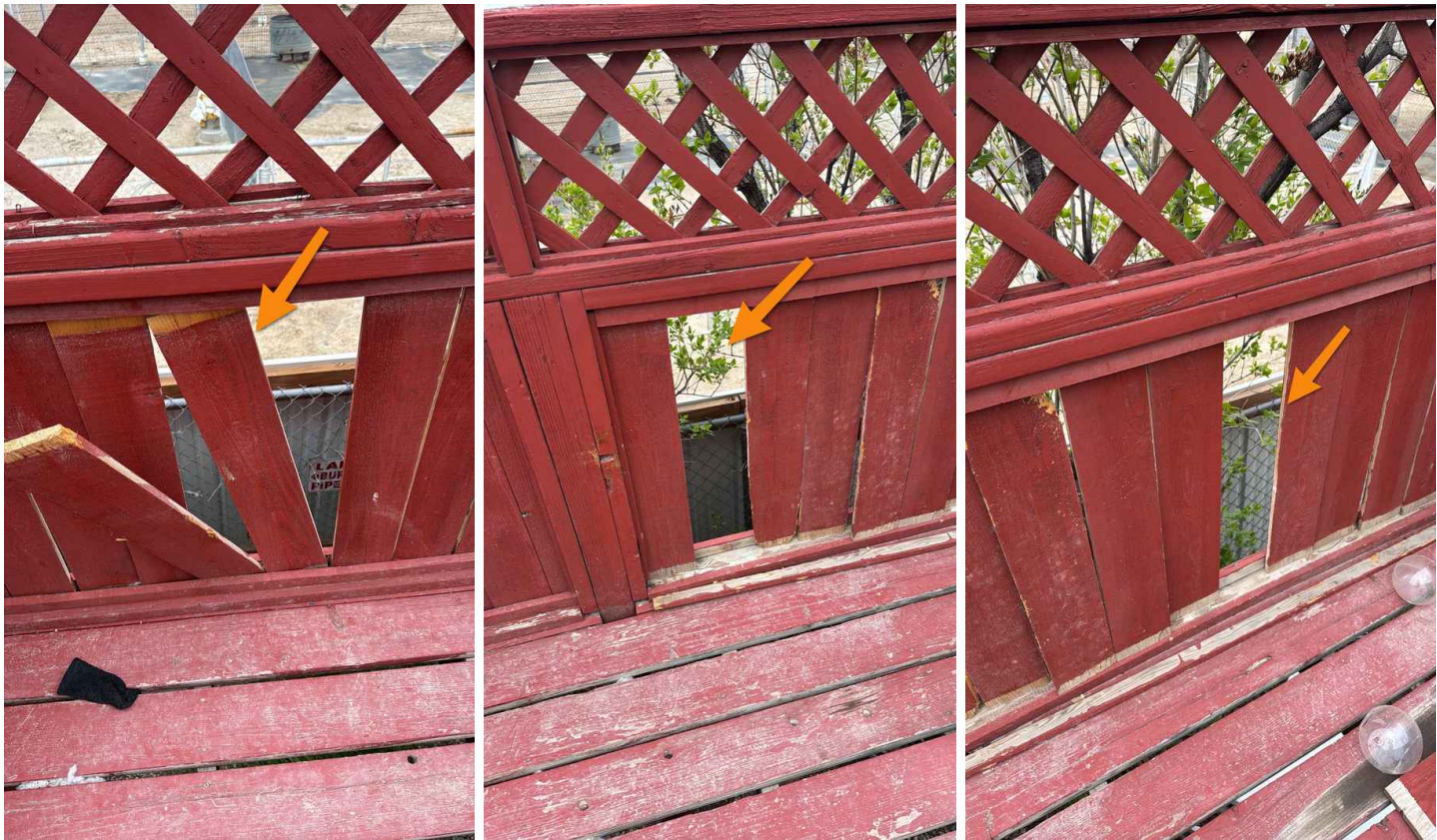


5.6.4 Decks, Balconies, Porches & Steps 2

RAILING UNSAFE

 Recommended Repairs

The railing is in need of updates. Several of the boards are falling out, which could allow children or animals to fall through.

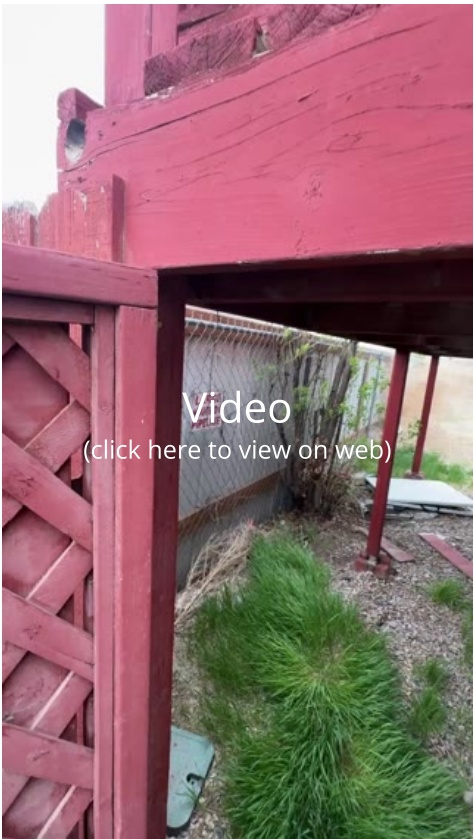


5.6.5 Decks, Balconies, Porches & Steps 2

SWAY- LACK OF LATERAL SUPPORT

 Recommended Repairs

By pulling lightly on the railing I was able to make the whole deck sway back-and-forth. This indicates a lack of proper lateral support below. This can be accomplished in several ways, including anchoring of the support posts.



5.7.1 Driveways

DRIVEWAY CRACKING - MAJOR

Recommended Repairs

The driveway cracks can be sealed to prevent water entry in further deterioration.



5.10.1 Vegetation

TREE OVERHANG

Recommended Repairs

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.



5.11.1 Fencing

POST UNSATISFACTORY

Recommended Repairs

There is at least one post that is not secure in the soils. Replacement is recommended.

5.11.2 Fencing

DAMAGED PICKETS

There are various pickets that are damaged.

Recommended Repairs



5.11.3 Fencing

RAILING LOOSE

Some portions that the railings are loose and would benefit from repairs to clothes gaps in the fencing.

Normal Maintenance

6: FOUNDATION

Information

Foundation: Type of Foundation Basement with foundation walls below grade tall enough to have living space and a finished floor.	Foundation: Materials Poured Concrete-Poured in place concrete 8 inches or more thick.	Foundation: Visibility A large portion of the foundation is not visible.
Basement: Basement Finished/Unfinished The finished interiors are described in the room-by-room portions of the report. , Most all of the basement is finished into living space.		

Notes

6.1.1 Foundation

NEGATIVE GRADING

Grading is sloping towards the home in one area. This can lead to water intrusion or other issues. It would be best if qualified landscaper change the grade so water flows away from home.

Recommended Repairs



6.2.1 Basement

GFCI

Outlets in basements should be GFCI protected in case of a flood.

Recommended Repairs



6.2.2 Basement

EFFLORESCENCE

Efflorescence was noted in the visible portions of the foundation wall. This indicates a high level of moisture in the concrete, which is causing some mineral buildup and staining. Exterior landscaping and gutter updates may be beneficial to help divert moisture away from the home. These areas should be monitored as high levels of moisture may eventually cause damage.

Recommended Repairs



7: ELECTRICAL

Information

Primary Power Source: Service Voltage

The incoming electrical service to this structure is 120/240 volts.

Primary Power Source: Service/Entrance/Meter

Underground/Good - Underground service to the structure is desirable for safety and appearance. Contact the utility company to mark the location of underground cable before digging.

Main Distribution Panel: Panel Location

Right side of the house.

Main Distribution Panel: Panel Accessibility

The electrical panel is in a location that makes it readily accessible.

Main Distribution Panel: Panel Type

Breakers - The structure is equipped with a breaker type main power panel. This is the desirable type; when a breaker trips off it can easily be reset. Caution: If a breaker is reset and trips back off this is an indication that there is a short or weakened condition in the circuit. Call a qualified licensed electrician for analysis of the existing problem.

Main Distribution Panel: Main Breaker Size

100 AMP- The ampacity of the main power panel appears to be within the normal parameters for the structure's age. However a load analysis is recommended if you anticipate adding more circuits or load to the system.

Main Distribution Panel: Panel Cover Removed

Yes

Main Distribution Panel: Service Cable Type

Copper



Main Distribution Panel: Main Service Ground

Yes - The main service ground wire was located by the inspector.



Main Distribution Panel: Circuit Wiring Type

Copper-The structure is wired using plastic insulated copper single conductor cables.,
Aluminum - Dedicated Circuits

Main Distribution Panel: Ground Fault Protected Outlets

At some areas - This structure is partially protected by using Ground Fault Circuit Interrupt outlets at some of these locations: outlets within 6' of a water source; any outside outlets; in the garage; and any outlets in an unfinished basement. Any areas not protected should be considered for installation as they afford inexpensive protection from electrical shock.

Main Distribution Panel: Wire Protection/Routing

Visible wiring appears to be installed in an acceptable manner.

Sub Panel: Panel Location
In the garage.

Sub Panel: Panel Accessibility
The electrical panel is in a location that makes it readily accessible.

Sub Panel: Service Cable Type
Copper

Sub Panel: Panel Type
Breakers - The structure is equipped with a breaker type main power panel. This is the desirable type; when a breaker trips off it can easily be reset. Caution: If a breaker is reset and trips back off this is an indication that there is a short or weakened condition in the circuit. Call a qualified licensed electrician for analysis of the existing problem.

Sub Panel: Circuit Wiring Type
Copper-The structure is wired using plastic insulated copper single conductor cables., Copper multi-strand feeders are installed to deliver power to a downstream panel or appliances requiring higher amperage.

Sub Panel: Panel Cover Removed

Yes



Sub Panel: Wire Protection/ Routing

Visible wiring appears to be installed in an acceptable manner.

Smoke and Carbon Monoxide Alarms: Smoke Detectors

Yes - The structure is equipped with smoke or heat detectors. They should be tested periodically in accordance with the manufacturer's specifications. This does not imply that there is adequate coverage by the existing detector(s).

Smoke and Carbon Monoxide Alarms: Carbon Monoxide

Not Adequate- There are carbon monoxide detectors installed however there is not adequate coverage based on current standards. Carbon monoxide detectors should be installed within 15 ft of any bedroom door.

Exterior Outlets: Satisfactory
Updates Needed- See defects

ARC Fault Protected Outlets: Bedrooms ARC Fault Protected
No- The bedrooms are Not ARC Fault protected as currently recommended.

Main Distribution Panel: Panel Condition

The power panel, as a container for safely covering electrical circuitry and components, is functioning as intended, minimizing the risk of electrical shock.

Main Distribution Panel: Breaker/Fuse to Wire Compatibility

The breakers/fuses in the main power panel appear to be appropriately matched to the circuit wire gauge.

Sub Panel: Panel Condition

The power panel, as a container for safely covering electrical circuitry and components, is functioning as intended, minimizing the risk of electrical shock.

Sub Panel: Breaker/Fuse to Wire Compatibility

The breakers/fuses in the main power panel appear to be appropriately matched to the circuit wire gauge.

Notes

7.2.1 Main Distribution Panel



Recommended Repairs

MISSING LEGEND

The breakers are not marked as to the rooms, areas, or appliances controlled. It is recommended that they be noted as soon as possible.



7.3.1 Sub Panel



Recommended Repairs

MISSING LEGEND

The breakers are not marked as to the rooms, areas, or appliances controlled. It is recommended that they be noted as soon as possible.

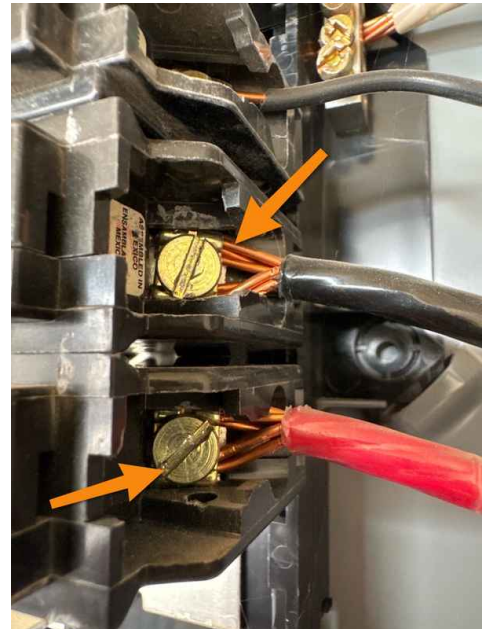
7.3.2 Sub Panel



Recommended Repairs

WRONG BREAKER TYPE

There is a multi strand wire, feeding a breaker that appears to be intended for single strand copper wire. You should consult an electrician to determine if this is allowable per current standards.



7.4.1 Smoke and Carbon Monoxide Alarms



Recommended Repairs

CO DETECTORS NOT ADEQUATE

There are CO detectors installed in the home, however, there are bedrooms that do not have a detector within 15 ft of the bedroom door. Per Colorado law, there must be a CO detector within 15 ft of any designated sleeping area. The detector cannot be partitioned by a door.

7.4.2 Smoke and Carbon Monoxide Alarms



Recommended Repairs

BATTERIES

One or more smoke alarms were found with batteries pulled out. These batteries should be replaced. In addition, any smoke alarms over 10 years old should be replaced.



7.4.3 Smoke and Carbon Monoxide Alarms



Recommended Repairs

NOT POWERED

The detectors is only battery powered. It would be beneficial to connect it to power to a secondary source.



7.5.1 Exterior Lighting

ANCHORED POORLY

At least one of the fixtures is not secured to the wall as well as it should be.



Recommended Repairs



7.5.2 Exterior Lighting
NON-FUNCTIONAL

Some portion of the exterior lighting is not functioning as intended.

 Recommended Repairs



7.5.3 Exterior Lighting
COVER MISSING

At least one light is missing its cover.

 Recommended Repairs

7.6.1 Exterior Outlets
GFCI AGE

It is best practice to replace GFCI outlets every 20 years. This one may be due for replacement.

 Normal Maintenance

7.6.2 Exterior Outlets
NON-FUNCTIONAL GFCI

 Recommended Repairs

The GFCI protecting the external outlet near the panel was not functional at the time of the inspection and should be replaced.



7.6.3 Exterior Outlets

LOOSE OUTLETS

One or more loose outlets were found. Loose outlets can lead to loose wiring. The outlet should be tightened.



8: PLUMBING

Information

Plumbing General Info: Plumbing Service Size to Structure Unknown	Plumbing General Info: Plumbing Service Pipe Material Unknown	Plumbing General Info: Location of Main Shut Off Meyer Pit
Plumbing General Info: Interior Supply Pipe Size 3/4" - It then reduces to 1/2" or 3/8" risers.	Plumbing General Info: Interior Supply Pipe Material Copper	Drain Piping: Drain Pipe Material ABS, PVC
Drain Piping: Waste Line Cleanout Location No Main, Underneath Kitchen Sink	Vent Piping: Satisfactory - Vent The visible plumbing vent piping appears functional.	Vent Piping: Vent Pipe Material Plastic

Exterior Hose Bibs: Satisfactory

The exterior hose bib(s) appeared to function normally.

Supply Piping : Satisfactory

The visible portions of the plumbing show no significant signs of defect, appear to be properly supported, and correctly installed.

Drain Piping: Satisfactory - Drain

The visible plumbing waste piping appears functional without signs of defect.

Drain Piping: Sewage Disposal Type

Public Sewer System

This inspection merely identifies the type of sewage waste disposal system. It does not comment on the adequacy or effectiveness of the system. For further evaluation, this Inspection Company may perform further testing under separate contract and direction.

Functional Supply: Satisfactory

By testing multiple fixtures at one time, functional flow of the water supply was verified.

Visible Minerals or Deposits: No

No signs of mineral build up were seen on the plumbing supply pipe materials or connections.

Functional Drainage: Satisfactory

Functional drainage has been verified. Water drained from a random sample of fixtures or drains flows at roughly the same rate or faster than was supplied.

Objectional Odors: No

No objectionable odors were noted. This is generally an indication of leaks in the Drain/Waste/Vent system. A health hazard condition may exist.

Notes

8.5.1 Water Pressure

WATER PRESSURE > 100 PSI

The water pressure is over 100 psi. Water pressure this high can cause damage to fill valves in toilets, dishwasher, and clothes washer. A water pressure regulator valve should be installed to regulate the pressure to an acceptable 40 to 80 psi range.



Recommended Repairs



8.5.2 Water Pressure

NO PRV

There is no pressure regulator installed on the incoming service line. Installation of a pressure regulator is recommended to keep the pressure lower and consistent.



Recommended Repairs

9: WATER HEATER

Information

General: Location Basement	General: Power Source Gas	General: Capacity 40 gal.
Flue/Exhaust Pipe Condition: Satisfactory The exhaust flue appears to be correctly installed.	Flue/Exhaust Pipe Condition: Material Metal	TPR Discharge Pipe: Satisfactory The overflow pipe is correctly installed.
Gas Valve: Yes There is a gas valve cutoff installed adjacent to the hot water tank.	Temperature Controls: Satisfactory The thermostat and temperature controls appear to function normally.	
General: Manufacturer AO Smith It is recommended flushing & servicing of the water heater tank be done annually for optimal life span. This is especially important for tank-less water heaters which should also be flushed with hot vinegar. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.		
General: Year of Manufacture 2024 Modern water heaters have a life expectancy of 8-12 years on average. Older water heaters were given an average of 12-15. These are only averages and water heaters can surpass these parameters.		
Water Piping Condition: Satisfactory Satisfactory - The incoming and output piping is installed correctly and appears to be in sound condition		
Water Heater Fill Valve: Yes Yes - There is a fill valve installed on the incoming water line. This valve can be used to cut off the water supply to the water heater.		
TPR Valve: Satisfactory Satisfactory - The temperature and pressure relief valve is of the correct rating for the water heater.		
Drain Valve: Satisfactory Yes - There is a drain valve installed on the lower side of the water heater.		

Limitations

Fire Box Condition
SEALED

As is common with modern water heaters, the door is sealed and visibility of the firebox is limited.

Notes

9.2.1 Flue/Exhaust Pipe Condition



Recommended Repairs

TOO CLOSE

The vent for the water heater exhausts near the evaporative cooler. Any vent or exhaust within 10 ft. Of an operable door, window, or cooler should be 3 ft above the opening. This is to prevent exhaust or gases from entering the home.



9.5.1 Expansion Tank

NONE INSTALLED



Recommended Repairs

Installation of an expansion tank is recommended. None currently installed.

10: HEATING - FURNACE

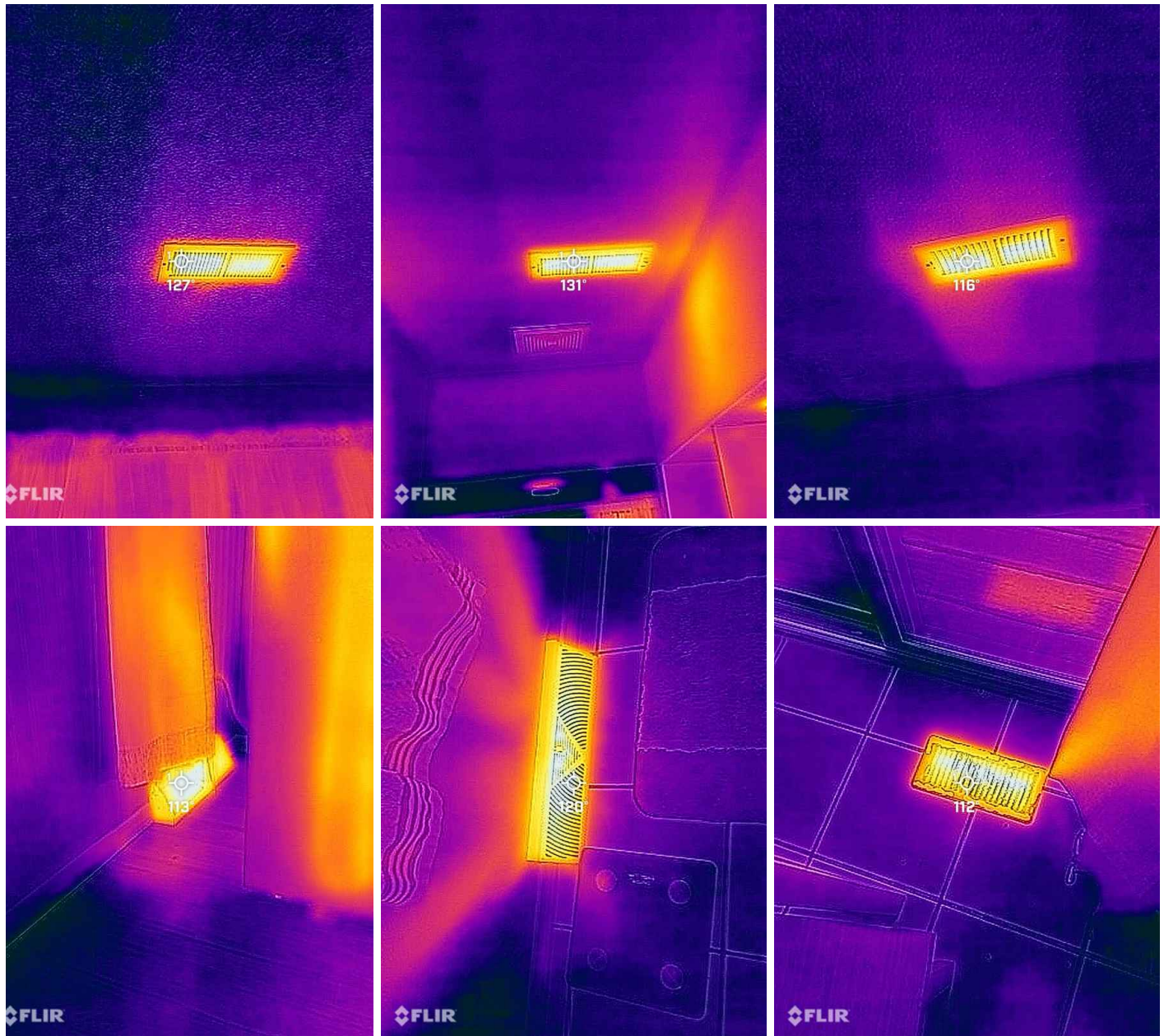
Information

Location Basement	Brand American Standard	Manufacture Date 2012
BTU Input 80,000 /HR	Energy Source Natural Gas	Unit Tested Yes
Flue Condition: Satisfactory The furnace flue as installed appears to be in satisfactory condition.	Blower Condition: Satisfactory The blower assembly appears to be performing as expected.	Filter: Filter Type Reusable
Ducts Condition: Satisfactory The duct work appears to be properly installed and supported.	Return Air: Yes The return air seems sufficient.	Thermostats: Satisfactory The thermostats activated the furnace when tested.
Thermostats: Thermostat Location Main Hallway		



Temperature Differential

30-60, The actual temperature rise was within this range.



Draft Hoods and Draw: Satisfactory

The draft hoods on the gas-fired appliances are secure, and each gas appliance appears to be drawing as expected.

Secondary Air Adequacy: Satisfactory

Secondary air is the air required in fossil fuel-fired appliances to mix with the products of combustion and for removal of the products of combustion up the flue.

Carbon Monoxide: No CO Detected

No measurable amounts of carbon monoxide were noted at the time of the test. Be sure to have up to date CO detectors appropriately located in the home. At the least there should be a detector within 15 ft. of any designated sleeping area.

Limitations

Heat Exchanger Condition

NOT INSPECTED - EQUIP. BLOCKING

Equipment and controls which are part of the furnace block access to the heat exchanger. They must be removed to view the heat exchanger, which is beyond the scope of this inspection.

Notes

10.4.1 Heat Exchanger Condition

CLEAN

 Normal Maintenance

The furnace heat exchanger needs to be cleaned. An HVAC professional can be contacted for servicing.

10.7.1 Filter

CLEAN REUSABLE

 Normal Maintenance

The filter is in need of cleaning. Cleaning filters every 30 to 45 days is recommended for the best performance and efficiency.

11: COOLING

Information

Evaporative Cooler: Location Window	Evaporative Cooler: Brand Brisa	Evaporative Cooler: Tested? No - The unit was winterized drained and unplugged.
		
Evaporative Cooler 2: Location Roof	Evaporative Cooler 2: Brand Aerocool	Evaporative Cooler 2: Year of Manufacture NA
Evaporative Cooler 2: Ducting Single Central Duct	Evaporative Cooler 2: Tested? No - The unit was winterized drained and unplugged.	

Notes

11.2.1 Evaporative Cooler 2

 Recommended Repairs

CORROSION-INTERIOR/EXTERIOR
There is minor corrosion/rust to the interior and/or exterior of the unit. Eventually, this will cause a leak or render the unit unusable. Paint or anti-corrosion measures may increase the lifespan of the unit. This is considered typical maintenance for an evaporative cooler.

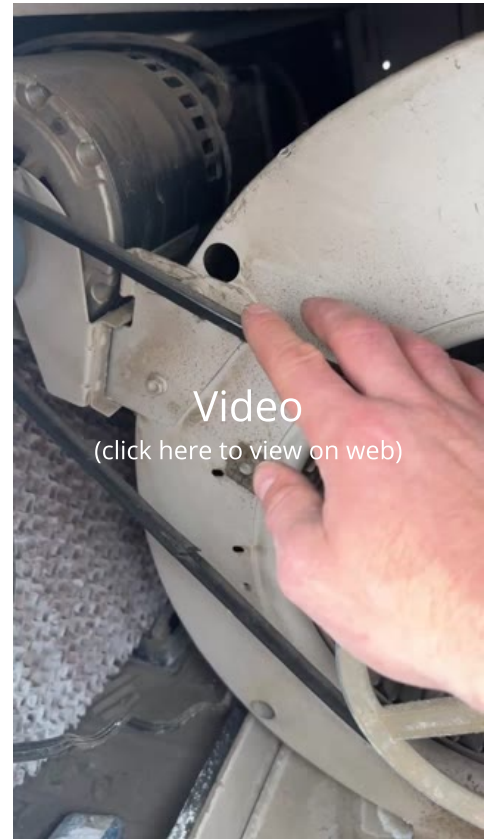


11.2.2 Evaporative Cooler 2

 Normal Maintenance

BELT TENSION

The belt was looser than recommended and may eventually begin to slip. Consult a professional for maintenance.



Video
(click here to view on web)

11.2.3 Evaporative Cooler 2

CRACKED BELT

The belt is cracked. It is recommended for replacement.



11.2.4 Evaporative Cooler 2

STAINING BELOW

There is staining on the shingles below the cooler. This can indicate the cooler leaked in the past. The leak come from a bad hose connection or overflow water. This should be monitored. Water flowing across the shingles can shorten the life of the shingles.





11.2.5 Evaporative Cooler 2

OVERFLOW

There is evidence that the cooler is overflowing. The float valve may need adjustment. An HVAC professional can be contacted to make changes.



12: KITCHEN

Information

General: Location South	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Floor: Floor Material Tile	Lighting: Satisfactory The lights in the kitchen are in satisfactory condition.	Electrical Outlets: Satisfactory The outlets tested in the kitchen are correctly wired and grounded.
Faucet and Supply : Satisfactory Faucets and supply lines appear satisfactory with no leaks noted.	Sink and Drain: Satisfactory The sink and drainage lines appear to be satisfactory.	Oven/Cooktop: Range/Oven Energy Source Electric
Range Hood: Exhaust Hood Type Re-circulate	Refrigerator: Water off There is a waterline under the sink. It is turned off.	
Floor: Condition The flooring in the kitchen is in satisfactory condition with no notable concerns.		
Sink and Drain: Previous Leak There is evidence of a previous leak below the sink. The faucet was tested and there is no current sign of water in the area. This should be monitored.		
Waste Disposal: Satisfactory The food waste disposal functioned when tested. No food was ground up in this inspection. The inspector was unable to determine if the unit will grind food waste adequately.		
Dishwasher: Tested The dishwasher was tested on one cycle, and it appeared to function normally. This dishwasher is a multi-cycle unit, but only one cycle was tested. This does not imply that the other cycles also work, nor does it imply that the dishwasher will clean the dishes to your requirements.		
Oven/Cooktop: Satisfactory There is a range top and oven. They appeared to function correctly at the time of the inspection. The timers and temperature settings were not tested and are not a part of this inspection.		
Range Hood: Satisfactory The range hood and exhaust fan appeared to work correctly on one or all speeds. There is a filter installed, and it will require periodic cleaning.		
Refrigerator: Satisfactory There is a refrigerator installed. This inspection determines only if the unit is currently keeping foodstuffs cold. The freezer portion of the refrigerator is required to freeze water. This refrigerator appears to pass this minimum inspection.		

Heat Source: No Heat Fine

There is no heat source in the kitchen but due to the open design there should be no heating problems.

Limitations

Window
SEALED

The windows are painted shut or otherwise sealed.



Notes

12.8.1 Electrical Outlets

RECOMMEND GFCI

This kitchen does not have Ground Fault Circuit Interrupt outlets installed in all of the required areas. The age of the structure may predate the required installation; however, for safety considerations, it is strongly suggested that one be installed at any location within 6 feet of a water source.

 Safety Concern



12.9.1 Cabinetry

DRAWER/CABINET FRONT

At least one drawer or cabinet front needs repair or refinishing.

 Recommended Repairs

12.9.2 Cabinetry

CABINET DOOR

Recommended Repairs

A cabinet door needs refinishing or repair. The cabinet door needs refinishing or repair.

12.9.3 Cabinetry

DRAWER-TRACK REPAIR

Recommended Repairs

One or more drawer tracks have a condition that is preventing the drawer from opening or closing properly. Repairs are recommended to restore function to the drawer(s).

12.10.1 Counter Tops

NORMAL AGE

Normal Maintenance

There is some normal deterioration for the age. Normal signs of age include chipped surfaces, expanding corner seams and the front edge de-laminating a bit.



12.16.1 Microwave Oven

NOT HEATING

Recommended Repairs

There is a microwave unit installed. After attempting to heat a cup of water for over 60 seconds, it appeared not to function. An appliance repair person can be contacted for repairs or replacement if needed.

12.17.1 Range Hood

CLEAN FILTER

Normal Maintenance

The range hood and exhaust fan/filter appear to be very dirty and need to be cleaned periodically. The accumulated grease can be a fire hazard.

13: LAUNDRY ROOM

Information

Location: Location Basement Between the Hallway and Primary bedroom closet.	Walls: Satisfactory The walls in the laundry room appear to be satisfactory.	Lighting: Satisfactory Lighting in the laundry is adequate.
Electrical Outlets: Satisfactory The outlets tested in the laundry are correctly wired and grounded.	Electrical Outlets: GFCI Outlets No-See Notes	Dryer: Dryer Power Source 240v Electric
Ceiling: Prev. Leak There is evidence of staining or bubbling on the ceiling caused by a prior moisture leak. The area was dry during the inspection. This should be monitored.		
Washer: Satisfactory A washer is installed. It was tested and functioned normally during the inspection		
Heat Source: No - Satisfactory There is no heat source in this room. Given it's location, a heat source does not appear necessary.		

Notes

13.2.1 Interior Entry Door TRACK HARDWARE The track hardware is in need of adjustment. The hardware where should be replaced and the door adjusted so that it stays in track.	 Recommended Repairs
13.8.1 Electrical Outlets RECOMMEND GFCI This laundry room does not have a Ground Fault Circuit Interrupt outlet installed. The age of the structure may predate the required installation. However, for safety considerations, it is suggested that one be installed at any location within 6 feet of a water source.	 Safety Concern
13.11.1 Dryer Vent CLEAN DUCT The dryer vent duct shows sign it is in need of cleaning. This should be done regularly as dryer vents are a leading cause of house fires.	 Recommended Repairs

14: BATHROOM 1

Information

General: Location Guest hallway, Upstairs	Interior Entry Door: Satisfactory The entry door to the bathroom is functional.	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.
Floor: Floor Material Tile	Window: Satisfactory The windows and associated hardware in the bathroom are satisfactory.	Electrical Outlets: Satisfactory The outlets tested in the bathroom are correctly wired and grounded.
GFCI Outlets: Functional GFCI In panel- The outlets are GFCI protected in the electrical panel.	Vanity Cabinet: Satisfactory The vanity cabinet and top in this bathroom are satisfactory.	Faucet and Supply: Satisfactory Faucets and supply lines appear satisfactory.
Basin and Drainage: Satisfactory The basin and drainage fixture appears to be satisfactory.	Toilet: Satisfactory The toilet in the guest bathroom appears to be functional.	Heat Source: Satisfactory There is a heat source in this room.
Ventilation Fans: Window There is a window in the room that should be used when showering or bathing.		
Faucet and Supply: Shutoffs There are shutoffs installed for both hot and cold water pipes under the basin.		

Notes

14.4.1 Walls

BASEBOARD TRIM SWELLING

The baseboard trim, outside of the tub, has puffed up due to water contact. Be sure to upkeep the caulk and paint to preserve the material. At this time, caulk and paint updates would be beneficial.

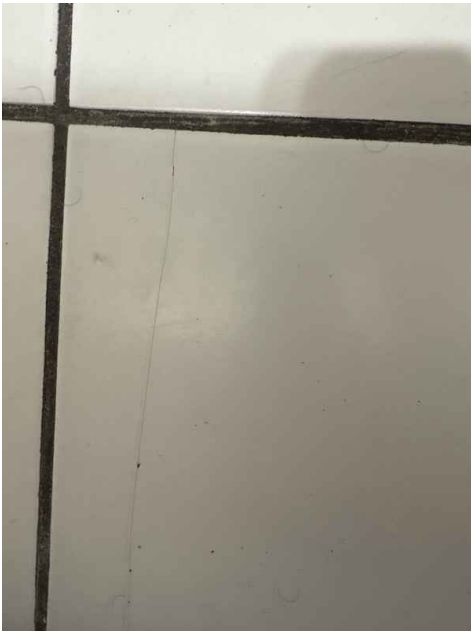
 Recommended Repairs

14.5.1 Floor

TRAFFICKED TILES

There are broken in high traffic areas. This is can be an indication the mortar bed is deteriorating.

 Recommended Repairs



14.8.1 Lighting

BULBS

Recommended Repairs

One or more bulbs are in need of replacement.



14.9.1 Electrical Outlets

TIRED/WORN

Recommended Repairs

The outlet will no longer retain a plug appropriately. It is worn and due for replacement.

14.10.1 GFCI Outlets

GFCI AGE

Normal Maintenance

GFCI outlets are recommended for replacement at around a 20 year interval. This GFCI may be due for replacement.

14.15.1 Tub Plumbing



Recommended Repairs

LOOSE

The faucet and mixing valve is loose and not anchored properly in the wall. This can cause damage to plumbing components or allow moisture behind the wall. Repairs are needed.



14.15.2 Tub Plumbing



Recommended Repairs

OVERFLOW FLIPPED

The overflow valve has been flipped. This is preventing the water from stopping at the correct level. It should be returned to its original position.



14.16.1 Shower Plumbing



Recommended Repairs

DIVERTER VALVE DRIPPING

The diverter valve drips water while the tub faucet is running. It may need a new gasket or replacement.



14.17.1 Tub and Shower Walls



Recommended Repairs

ENAMEL CHIPPED

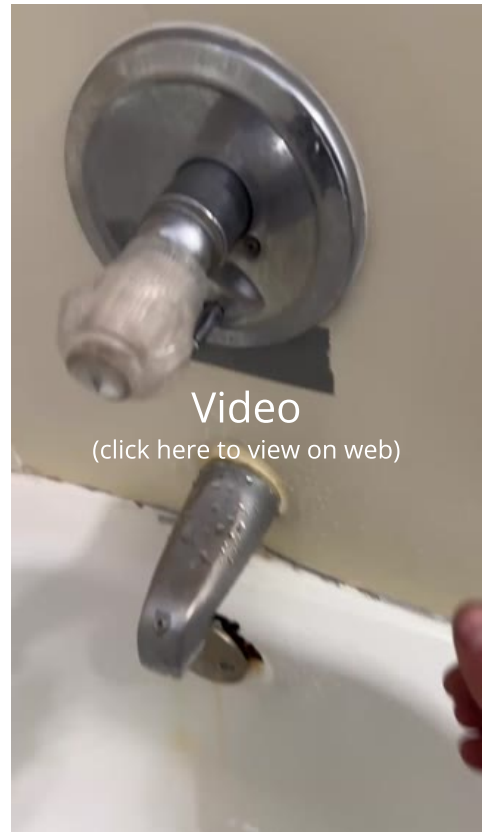
The enamel of the tub is chipped.



14.17.2 Tub and Shower Walls

LOOSE

The thin vinyl shower wall is not glued or anchored appropriately to the wall behind. It is loose and in need of repair or replacement to prevent future damage.

**Recommended Repairs**

15: BATHROOM 2

Information

General: Location Basement	Interior Entry Door: Satisfactory The entry door to the bathroom is functional.	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.
Floor: Floor Material Tile	Ventilation Fans: Satisfactory	Lighting: Satisfactory The lights in the bathroom are in satisfactory condition.
Electrical Outlets: Satisfactory The outlets tested in the bathroom are correctly wired and grounded.	GFCI Outlets: Functional GFCI In bathroom- The GFCI is functional and located in the bathroom.	Vanity Cabinet: Satisfactory The vanity cabinet and top in this bathroom are satisfactory.
Faucet and Supply: Satisfactory Faucets and supply lines appear satisfactory.	Basin and Drainage: Satisfactory The basin and drainage fixture appears to be satisfactory.	Shower Plumbing: Satisfactory The shower, shower head, and mixing valves are all performing as required.
Tub and Shower Walls: Satisfactory The walls and pan or basin appear to be in satisfactory condition.	Heat Source: Satisfactory There is a heat source in this room.	
Faucet and Supply: Shutoffs There are shutoffs installed for both hot and cold water pipes under the basin.		

Notes

15.4.1 Walls
DAMAGED TRIM

 Recommended Repairs



15.7.1 Ventilation Fans
CLEAN FAN

 Normal Maintenance

The fan cover and/or motor are dirty. Regular cleaning can lengthen the lifespan of the fan.



15.7.2 Ventilation Fans
MISSING LOUVRE

 Recommended Repairs

Several of the exterior louvers are missing and in need of replacement.



15.8.1 Lighting
BULBS

 Recommended Repairs



15.11.1 Vanity Cabinet
NOT ANCHORED

 Recommended Repairs

The counter top is not anchored down to the cabinet.

15.14.1 Toilet

NOT SECURE



Recommended Repairs

The toilet is not secure to the floor, allowing it to wobble or twist and possibly leak. Action should be taken to re-secure it to the floor.



16: PRIMARY BEDROOM

Information

General: Location North, Basement	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Windows: Satisfactory The windows and associated hardware in the bedroom are satisfactory.	Floors: Floor Coverings Laminate	Floors: Satisfactory Condition The flooring in this room is in satisfactory condition overall.
Closet: Satisfactory The closet is functional and of average size.	Lighting: Satisfactory The lights in the bedroom are in satisfactory condition.	Electrical Outlets: Satisfactory The outlets tested in this bedroom are correctly wired and grounded.
Heat Source: Yes There is a heat source to this room.		
Ceiling Fan: Satisfactory There is a ceiling fan installed in this bedroom. It appears to be functional.		
Ceiling Fan: Remote There is a remote control for the ceiling fan. Be sure to verify its presence at the closing walk-through inspection.		

Notes

16.2.1 Interior Entry Door LATCH The latch or strike plate needs to be adjusted so that the door will latch correctly.	
16.11.1 Smoke Detectors RECOMMEND There is no smoke detector installed in this bedroom. For safety considerations, you should consider installation of a battery operated or hardwired smoke detector.	

17: BEDROOM 1

Information

General: Location Northeast, Second Floor	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Windows: Satisfactory The windows and associated hardware in the bedroom are satisfactory.	Floors: Floor Coverings Laminate	Lighting: Satisfactory The lights in the bedroom are in satisfactory condition.
Heat Source: Yes There is a heat source to this room.		

Notes

17.2.1 Interior Entry Door
DOOR SKIN
The door skin is damaged

 Recommended Repairs



17.2.2 Interior Entry Door
LOOSE
The upper hinge bracket is loose and needs to be tightened to allow the door to shut properly.

 Recommended Repairs



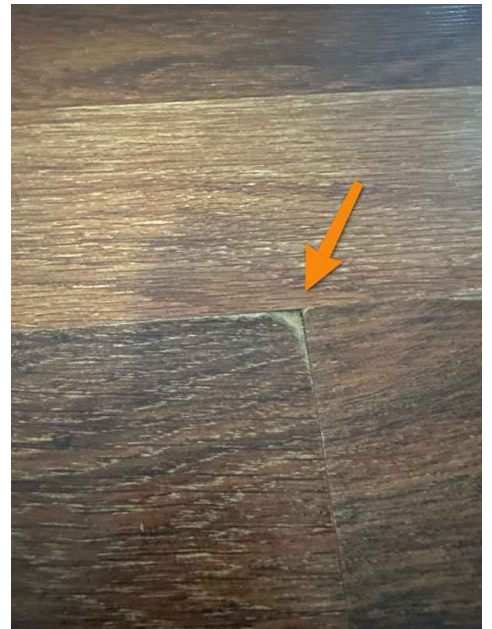
17.6.1 Floors

MOISTURE DAMAGE

Floors had areas of visible moisture damage. Laminate flooring swells when it comes into contact with moisture. Personal items were covering in majority of the flooring, but there was some damage visible along the edges.



Recommended Repairs



17.7.1 Closet

REMOVED

The doors have been removed



Recommended Repairs

17.11.1 Smoke Detectors

RECOMMEND

There is no smoke detector installed in this bedroom. For safety considerations, you should consider installation of a battery operated or hardwired smoke detector.



Recommended Repairs

18: BEDROOM 2

Information

General: Location Basement	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Floors: Floor Coverings Tile	Floors: Satisfactory Condition The flooring in this room is in satisfactory condition overall.	Closet: Satisfactory The closet is functional and of average size.
Lighting: Satisfactory The lights in the bedroom are in satisfactory condition.	Electrical Outlets: Satisfactory The outlets tested in this bedroom are correctly wired and grounded.	Heat Source: Yes There is a heat source to this room.
Ceiling Fan: Satisfactory There is a ceiling fan installed in this bedroom. It appears to be functional.		

Notes

18.2.1 Interior Entry Door

LOOSE HINGE

 Recommended Repairs



18.5.1 Windows

GLASS BROKEN

Some portion of the glass is damaged and needs repair or replacement.

 Recommended Repairs

18.7.1 Closet

REMOVED

Note - The doors have been removed

 Recommended Repairs

18.10.1 Electrical Outlets

LOOSE OUTLETS

At least one outlet was loose and needed to be tightened. If left loose for too long, it can cause loose wiring, which is a safety concern.

 Normal Maintenance

18.11.1 Smoke Detectors

RECOMMEND

There is no smoke detector installed in this bedroom. For safety considerations, you should consider installation of a battery operated or hardwired smoke detector.

 Recommended Repairs

19: FRONT ENTRY AND HALLWAY

Information

General: Direction of Front Entry North	General: Floor Material Tile, Wood	Main Hallway: Walls The main hallway walls are in satisfactory condition.
Main Hallway: Flooring The main hallway flooring is in satisfactory condition.	Main Hallway: Ceiling The main hallway ceiling in satisfactory condition.	Main Hallway: Guest Closet The guest closet is functional and of average size.
Main Hallway: Linen Closet The closet is functional	Steps, Stairways & Railings: Handrail Installed No-There is no handrail installed. A graspable handrail is recommended.	

Notes

19.2.1 Front Entry Door
DEADBOLT- NO LATCH PLATE

 Recommended Repairs



19.4.1 Steps, Stairways & Railings
NO HANDRAIL

 Recommended Repairs

Staircase had no graspable handrails. This is a safety hazard. Recommend a qualified contractor install a handrail.



20: LIVING ROOM

Information

General: Location East	Ceiling: Satisfactory The ceiling shows no current signs of defect or other concerns.	Walls: Satisfactory The walls shows no current signs of defect or other concerns.
Windows: Satisfactory The windows and associated hardware in the room are satisfactory.	Floor: Floor Material Wood	Electrical Outlets: Satisfactory The outlets tested in this room are correctly wired and grounded.
Smoke Detectors: Yes There is a smoke detector installed in the room.	Heat Source: Satisfactory There is a heat source to this room.	

Notes

20.7.1 Floor

MINOR DAMAGE

At some point, refinishing of the wood floor is recommended to prevent further damage and wear.

 Normal Maintenance



20.10.1 Electrical Outlets

LOOSE OUTLETS

At least one loose outlet was noted. Loose outlets can eventually lead to loose wiring. Correction is needed.

 Normal Maintenance

20.11.1 Smoke Detectors

LOW BATTERY

Smoke detector failed to respond when tested. Recommend battery be replaced.

Normal Maintenance

21: LIVING ROOM 2

Information

General: Location Basement	Walls: Satisfactory The walls shows no current signs of defect or other concerns.	Floor: Floor Material Tile
Lighting: Satisfactory The lights in the room are in satisfactory condition.	Electrical Outlets: Satisfactory The outlets tested in this room are correctly wired and grounded.	Heat Source: Satisfactory There is a heat source to this room.

Ceiling: Prior Staining

There is evidence of a previous leak on the ceiling. The area was dry during the inspection and verified using a moisture meter. Be sure to monitor this area. The current owner may have information on any past issues.



Ceiling Fan: Satisfactory

There is a ceiling fan installed in this room. It appears to be functional.

Limitations

Windows
COOLER



Notes

21.5.1 Walls

MOISTURE FROM FOUNDATION

Due to the presence of moisture in the concrete at the base of the foundation, the section of drywall near the stairs has some moisture damage. Moisture was detected in the drywall. Some clearance should have been allowed to prevent this. In addition, this level of concrete moisture is concerning. It may very well be coming from an exterior source.



Recommended Repairs



21.7.1 Floor

TRAFFICKED TILES

There are broken tiles in high traffic areas. This is can be an indication the mortar bed is deteriorating.



Recommended Repairs



21.9.1 Ceiling Fan

SLIGHT WOBBLE



Recommended Repairs

The ceiling fan installed in this bedroom appears to need some adjustment. The fan blades wobble slightly. The blades may need to be cleaned, balanced, or the hardware tightened. Sometimes the blades or brackets have bent over time and the only way to remedy the wobble is replacement

22: DINING ROOM

Information

General: Location Southwest	Walls: Satisfactory The walls shows no current signs of defect or other concerns.	Floor: Floor Material Tile
Ceilings: Satisfactory The ceiling is functional and as I expected.	Lighting: Satisfactory The lights in the room are in satisfactory condition.	Electrical Outlets: Satisfactory The outlets tested in this room are correctly wired and grounded.
Heat Source: Yes There is a heat source to this room.		

Notes

22.2.1 Outside Entry Door

THERMAL SEAL

The thermal seal is broken. Although it is keeping the elements out, it has a clouded appearance. The seals of glazes are designed to reseal themselves. Normally, this condition will worsen over time.

 Recommended Repairs

22.2.2 Outside Entry Door

UPSIDE DOWN

The door appears to have been flipped upside down during install. The rollers may not have been intended to be used in this manner.

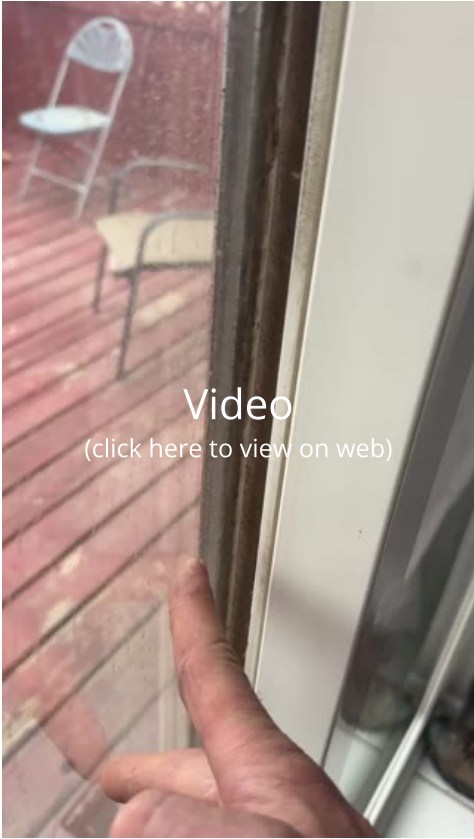
 Recommended Repairs

22.2.3 Outside Entry Door

LOOSE PANE- VINYL DAMAGE

There is damage to the vinyl around the exterior stationary window. This is allowing the window to fall out. Repair is needed.

 Recommended Repairs



22.5.1 Floor
CRACKED TILES

 Recommended Repairs

There are several cracked tiles in the dining room room. This may indicate that the mortar bed is failing and eventually the tiles may need to be replaced.



23: GARAGE

Information

Type Attached	Size Two car	Number of Overhead Doors There is a single overhead door
Garage Door: Door Type Automatic, Sectional	Automatic Overhead Door Opener: Satisfactory The overhead door opener was tested and functioned appropriately.	Safety Reverse Switch: Satisfactory Pressure The safety reverse switch worked when it met resistance.

Overhead Door and Hardware Condition: Satisfactory
Satisfactory - The overhead door is in satisfactory condition, and it is functional.

Safety Reverse Switch: Beam Satisfactory
There is an electronic beam safety reverse system installed. It appears to be functional.

Garage Walls: Fire Rated
The wall covering appears to meet the minimum fire separation standards. However, it is not possible to verify after the sheetrock is finished.

Electrical Service to Garage: Satisfactory
The outlets tested in the garage are correctly wired and grounded.

Notes

23.2.1 Overhead Door and Hardware Condition P SEAL DETERIORATED The perimeter seal is deteriorating	 Normal Maintenance
23.2.2 Overhead Door and Hardware Condition LOUD ROLLERS The rollers are loud, they would benefit from cleaning and lubrication	 Normal Maintenance
23.5.1 Outside Entry Door NO P SEAL Note - There is no perimeter seal installed.	 Recommended Repairs

23.5.2 Outside Entry Door

LOCK BROKE

The lock on this door is not operational. It should be replaced.



23.5.3 Outside Entry Door

FRAME DAMAGE

At some point, the door frame has been damaged. The frame should be replaced for security purposes.



23.6.1 Garage Ceiling

OPENINGS

There is at least one opening in the firewall that creates an opening for fire travel. For safety reasons, this should be repaired.





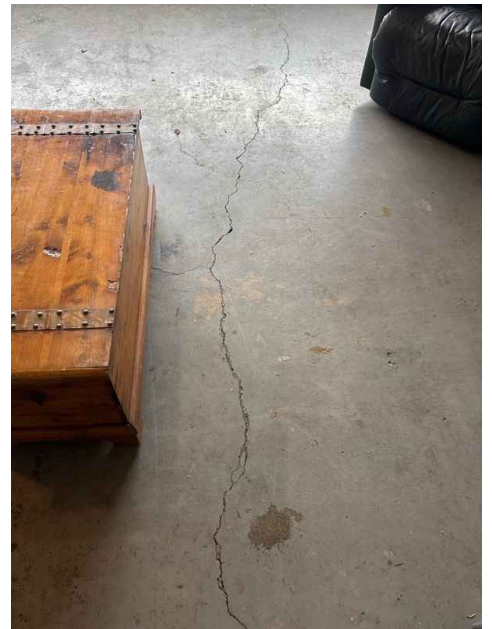
23.8.1 Garage Floor

CRACKING

There is hairline cracking in the garage slab. This is not cause for concern at this time as all concrete will crack through its life. Once large enough, the cracks can be sealed to prevent water entry causing increased cracking or heaving. As a general rule, if a dime coin can slot in a crack it is a candidate for sealant.



Normal Maintenance



23.9.1 Fire Rated Entry Door

NOT FIRE RATED

This is not a fire rated door. A fire rated door should be installed to help safeguard the house from fires that have a higher chance of starting in the garage.



Recommended Repairs



23.12.1 Electrical Service to Garage

COVER

At least one outlet/switch noted in the garage needs a new outlet cover.



Safety Concern



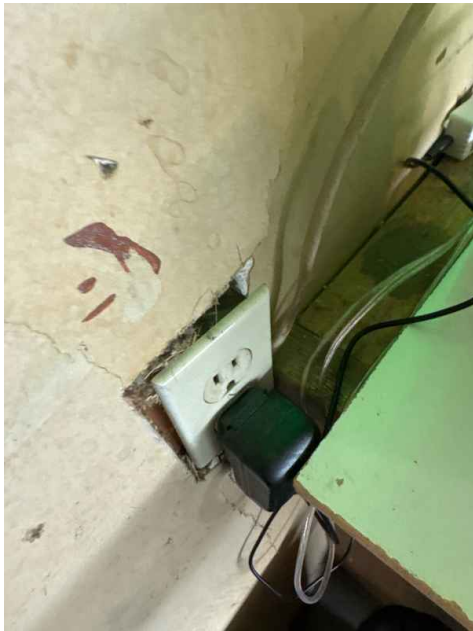
23.12.2 Electrical Service to Garage

LOOSE OUTLETS

At least one outlet in this room is loose and would benefit from having its hardware tightened or other adjustments made.



Recommended Repairs



23.12.3 Electrical Service to Garage

DAMAGED OUTLET

At least one outlet is damaged and should be replaced.

 Recommended Repairs

23.12.4 Electrical Service to Garage

BULBS

At least one bulb is in need of replacement.

 Recommended Repairs

